



**HW** Houston Whiteside Historic District **Homeowner Preservation Handbook**

Hutchinson, Kansas



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## Introduction

### Summary

The Hutchinson Landmarks Commission was awarded a Historic Preservation Fund Grant from the Kansas Historical Society to prepare a handbook for the Houston Whiteside Historic District. The Landmarks Commission contracted with Davis Preservation to carry out the work. Christy Davis conducted a project kickoff meeting with the Landmarks Commission on October 20, 2011. On January 9, 2012, Davis discussed the project with the Houston Whiteside Neighborhood Association.

### Purpose/Application

The purposes of this document are as follows:

1. To guide choices that will ensure the long-term preservation of district homes.
2. To guide property owners through review processes under state preservation law (see Appendix B) and the historic tax credit program (see Appendix C).
3. To assist the Landmarks Commission in the review process.

In order to carry out these goals, this document includes a brief summary of the historic district, a list of district properties, a summary of permit processes, information about the local permit process and review under the state preservation law, and information about preservation-related funding.

### The Hutchinson Landmarks Commission

This document is designed in part to guide property owners through the review processes of the Landmarks Commission, which reviews projects that may affect historic

properties, including those in the Houston Whiteside Historic District. The Landmarks Commission, which is appointed by the Hutchinson City Council, is made up of preservation-related professionals and other interested citizens. The Commission's mission is three-fold:

1. To preserve buildings and sites of historic and architectural importance and safeguard the heritage and culture of Hutchinson.
2. To encourage the maintenance of historic property.
3. To promote the study of history, culture, and architectural design.

### Preservation Laws and the Review Process

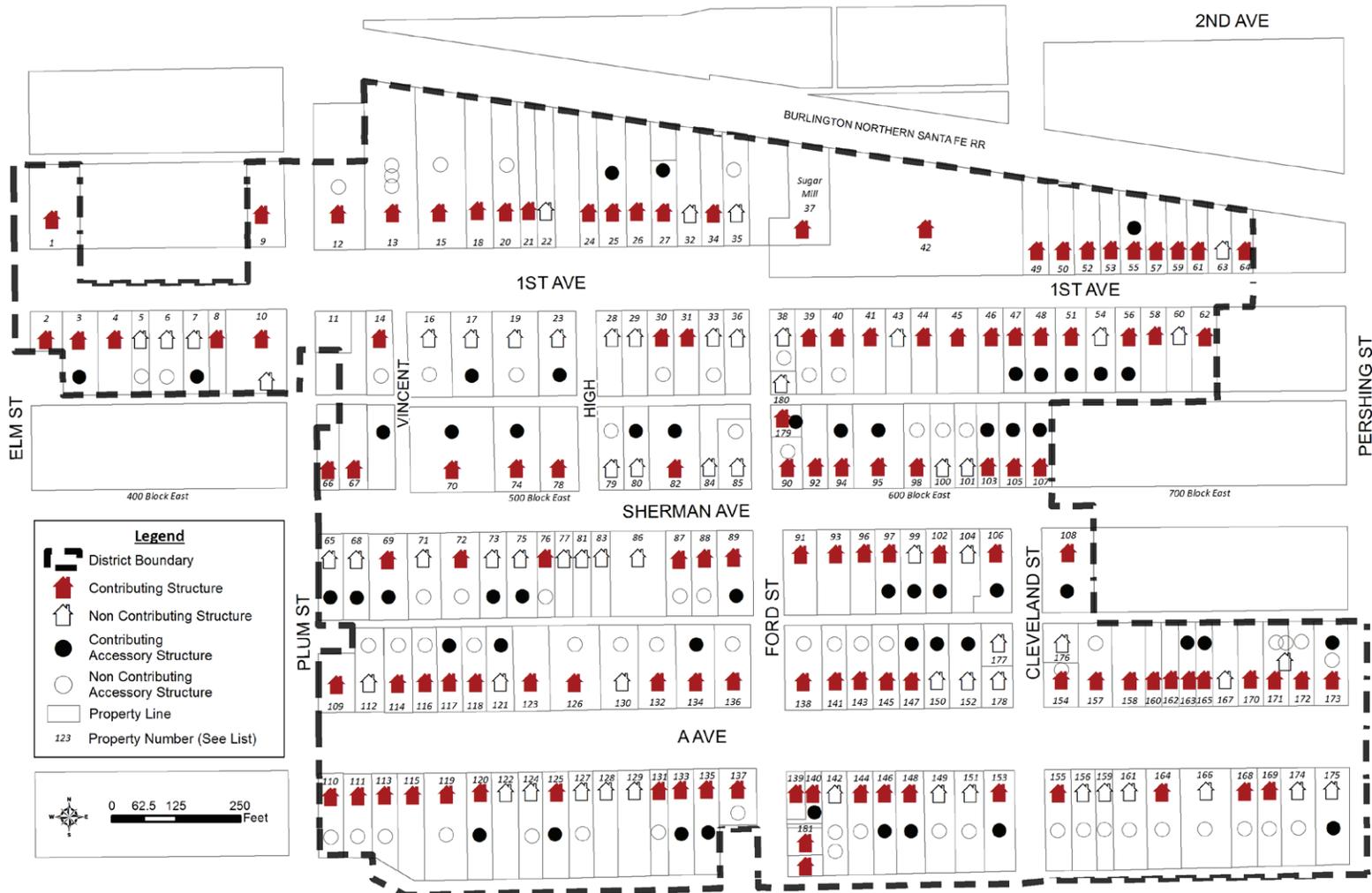
The Landmarks Commission reviews projects under local law (Ordinance No. 7095) and the Kansas Historic Preservation Statute (K. S. A. 75-2724 ). Projects in the Houston Whiteside Historic District are subject to review under the state preservation statute. Property owners should not commence work before their projects are reviewed.

## District Summary

The Houston Whiteside Historic District is roughly bounded on the north by the Atchison, Topeka, and Santa Fe Railroad tracks, on the south by the alley between Avenues A and B, on the east by Pershing Street, and on the west by Elm and Plum Streets. Properties within the district are classified as contributors or non-contributors to the district. In order to be designated as a contributor to a historic district, a property must be at least 50 years old and possess historic integrity. Although nearly all of the buildings within the district are more than 50 years old, many are classified as non-contributors because they have artificial siding. The boundaries of the district are identified on the map on Page 6. The contributing/non-contributing statuses of buildings are illustrated on the map on Page 6 and in the list of district properties beginning on Page 7. Contributing buildings are identified with solid symbols. Non-contributing buildings are identified with open symbols. The contributing/non-contributing status of buildings is also included in the

following chart of district properties, with contributing buildings identified with a “C” and non-contributing identified with an “NC.” Contributing buildings, including both residences and outbuildings, are eligible for preservation-related funding. Please note that a property’s contributing status may change over time depending upon changes to the building. For instance, if vinyl siding is removed from a residence, its contributing status may be re-evaluated. Properties identified as contributors include those designated as “key” contributors in the National Register nomination. The below list is current as of August 16, 2012. The Kansas State Historic Preservation Office maintains a current list of district properties and contributing status at [http://www.kshs.org/resource/national\\_register/districtsNRDB/Houston\\_Whiteside\\_Historic\\_District.pdf](http://www.kshs.org/resource/national_register/districtsNRDB/Houston_Whiteside_Historic_District.pdf).

## Houston Whiteside National Register District Hutchinson, Kansas



### List of District Properties

Refer to District Summary on Page 5 for explanation of table.

#	ADDRESS				HISTORIC NAME	DATE	STYLE	
1	402	E	1ST	AVE		c.1890s	QUEEN ANNE: FREE CLASSIC	C
2	403	E	1ST	AVE		c.1930	COLONIAL REVIVAL	C
3	407	E	1ST	AVE	NELSON, JOHN HOUSE	1898	SECOND EMPIRE	C
4	411	E	1ST	AVE	BRADLEY HOUSE	1896	PRAIRIE: FOURSQUARE	C
5	413	E	1ST	AVE	MCKITTRICK HOUSE	c.1910	NATIONAL FOLK: PYRAMIDAL	NC
6	415-415 <sup>1/2</sup>	E	1ST	AVE		c.1930s	COLONIAL REVIVAL	NC
7	417	E	1ST	AVE	CHUBBOCK HOUSE	c. 1900	PRAIRIE: FOURSQUARE	NC
8	423	E	1ST	AVE	PRICE CARETAKER'S HOUSE	c. 1888	NATIONAL FOLK: I- HOUSE	C
9	428	E	1ST	AVE		c. 1890s	QUEEN ANNE	C
10	429	E	1ST	AVE	PRICE HOUSE	c. 1888	QUEEN ANNE	C
11	500 BLK	E	1ST	AVE	MAJOR W.L. BROWN PARK	c. 1905	N/A	C
12	502	E	1ST	AVE	BROADMOOR APARTMENTS	c.1907/altered 1927	APARTMENT BUILDING	C
13	510	E	1ST	AVE		c.1900s/altered c.1930s	OTHER	C
14	507	E	1ST	AVE	REDHEAD HOUSE	1880	QUEEN ANNE	C
15	514	E	1ST	AVE	MOOREHOUSE	1900	QUEEN ANNE	C
16	515	E	1ST	AVE	RICHARDS HOUSE	1908	PRAIRIE: FOURSQUARE	NC
17	517	E	1ST	AVE	PEGUES HOUSE	c. 1900	PRAIRIE: FOURSQUARE	NC
18	518	E	1ST	AVE	HILL HOUSE	c. 1905	NATIONAL FOLK: SIDE GABLE, CRAFTSMAN	C
19	521	E	1ST	AVE	NUSSBAUM HOUSE	c. 1902	COLONIAL REVIVAL	NC
20	522	E	1ST	AVE		c. 1905	QUEEN ANNE	C
21	524	E	1ST	AVE	TALMADGE HOUSE	c. 1905	COLONIAL REVIVAL	C
22	526	E	1ST	AVE	PAYNE HOUSE (DEMOLISHED 2009)	c. 1900	NATIONAL FOLK: GABLE FRONT AND WING	NC
23	527	E	1ST	AVE	VINCENT HOUSE	c. 1892	QUEEN ANNE: FREE CLASSIC	NC
24	528 -A	E	1ST	AVE	DOWNEY HOUSE	c. 1920	PRAIRIE: FOURSQUARE	C
25	530	E	1ST	AVE		c. 1904	QUEEN ANNE: FREE CLASSIC	C
26	532	E	1ST	AVE		c. 1905	QUEEN ANNE	C
27	534-536	E	1ST	AVE	HAINES HOUSE	c. 1890s	QUEEN ANNE	C
28	539	E	1ST	AVE		c. 1930s	CRAFTSMAN BUNGALOW	NC

29	541	E	1ST	AVE		c. 1908	PRAIRIE: FOURSQUARE	NC
30	543	E	1ST	AVE		c. 1909	COLONIAL REVIVAL: NATIONAL FOLK GABLE FRONT	C
31	545	E	1ST	AVE	SMITH-HAYES HOUSE	c. 1909	PRAIRIE: FOURSQUARE	C
32	546	E	1ST	AVE		c. 1905	NATIONAL FOLK: GABLE FRONT AND WING	NC
33	547	E	1ST	AVE	SCHLAUDT HOUSE	c. 1908	QUEEN ANNE	NC
34	548	E	1ST	AVE		c. 1890s	NATIONAL FOLK: ITALIANATE COTTAGE	C
35	550	E	1ST	AVE	DUNKIN HOUSE	c. 1951	NATIONAL FOLK: SIDE GABLE	NC
36	551	E	1ST	AVE		1903	NATIONAL FOLK: GABLE FRONT AND WING	NC
37	600	E	1ST	AVE	KANSAS SUGAR MILL	1882	WAREHOUSE	C
38	601	E	1ST	AVE	SCHMIED HOUSE	c. 1905	NATIONAL FOLK: PYRAMIDAL BUNGALOW	NC
39	605	E	1ST	AVE		c. 1905	NATIONAL FOLK: PYRAMIDAL	C
40	607	E	1ST	AVE		c. 1905	QUEEN ANNE	C
41	611-613	E	1ST	AVE		c. 1913	PRAIRIE: FOURSQUARE	C
42	612	E	1ST	AVE	NELSON BROTHERS MANUFACTURING AND SUPPLY COMPANY	1905	WAREHOUSE	C
43	617	E	1ST	AVE		c. 1905	QUEEN ANNE	NC
44	621	E	1ST	AVE	HURTY HOUSE	c. 1905	QUEEN ANNE	C
45	629	E	1ST	AVE		c. 1905	NATIONAL FOLK: PYRAMIDAL	C
46	635	E	1ST	AVE		c. 1903	NATIONAL FOLK: GABLE FRONT	C
47	637	E	1ST	AVE	SCHALL- HERSHBERGER HOUSE	c. 1905	NATIONAL FOLK: PYRAMIDAL BUNGALOW	C
48	701	E	1ST	AVE	HURTH HOUSE	c. 1905	NATIONAL FOLK: PYRAMIDAL	C
49	702	E	1ST	AVE	WRAY HOUSE	c. 1905	NATIONAL FOLK: PYRAMIDAL	C
50	706	E	1ST	AVE	JURGENS HOUSE	c. 1905	NATIONAL FOLK: PYRAMIDAL	C
51	709	E	1ST	AVE		c. 1905	PRAIRIE: FOURSQUARE	C
52	710	E	1ST	AVE	BARNES HOUSE	c. 1912	QUEEN ANNE	C
53	714	E	1ST	AVE	HARNEY HOUSE	c. 1905	QUEEN ANNE	C
54	715	E	1ST	AVE	SCHWEDE HOUSE	c. 1905	QUEEN ANNE	NC

55	716	E	1ST	AVE		c. 1912	NATIONAL FOLK: PYRAMIDAL BUNGALOW	C
56	717	E	1ST	AVE	PARKS HOUSE	c. 1920	CRAFTSMAN BUNGALOW	C
57	718	E	1ST	AVE		c. 1920	NATIONAL FOLK: GABLE FRONT - BUNGALOW	C
58	719	E	1ST	AVE	DOWNEY HOUSE	c. 1913	NATIONAL FOLK: PYRAMIDAL	C
59	720	E	1ST	AVE		c. 1920	NATIONAL FOLK GABLE - FRONT BUNGALOW	C
60	721	E	1ST	AVE	DAVIS HOUSE	c. 1905	QUEEN ANNE	NC
61	722	E	1ST	AVE		c. 1920	NATIONAL FOLK: GABLE FRONT BUNGALOW	C
62	723	E	1ST	AVE	TOTTEN HOUSE	c. 1905	NATIONAL FOLK: PYRAMIDAL	C
63	724	E	1ST	AVE	WICKENDOLL HOUSE	c. 1912	NATIONAL FOLK: PYRAMIDAL BUNGALOW	NC
64	726	E	1ST	AVE	GARTON HOUSE	c. 1916	NATIONAL FOLK: PYRAMIDAL BUNGALOW	C
65	501	E	SHERMAN	AVE		c. 1913	NATIONAL FOLK FRONT GABLE	NC
66	502	E	SHERMAN	AVE	MORTON HOUSE	1902	COLONIAL REVIVAL	C
67	504	E	SHERMAN	AVE	HOUSTON WHITESIDE HOUSE	1886/altered 1915	TUDOR REVIVAL	C
68	507	E	SHERMAN	AVE		c. 1915	PRAIRIE: FOURSQUARE; CLASSICAL REVIVAL	NC
69	511	E	SHERMAN	AVE	SETNEY HOUSE	c. 1900	CLASSICAL REVIVAL	C
70	512	E	SHERMAN	AVE	MCMILLIAN-KELLY HOUSE	1905	SHINGLE	C
71	513	E	SHERMAN	AVE	HETTINGER, FRANKLIN HOUSE	1902	QUEEN ANNE: FREE CLASSIC	NC
72	521	E	SHERMAN	AVE	PENNEY HOUSE	1901	COLONIAL REVIVAL	C
73	525	E	SHERMAN	AVE		c. 1884	QUEEN ANNE	NC
74	528	E	SHERMAN	AVE	MCLAFFERTY HOUSE	1889	QUEEN ANNE	C
75	531	E	SHERMAN	AVE	DUVALL HOUSE	c. 1903	QUEEN ANNE	NC
76	533A & 533B	E	SHERMAN	AVE		c. 1908	BUNGALOW	C
77	535	E	SHERMAN	AVE		c. 1909	NATIONAL FOLK: GABLE-FRONT, COLONIAL REVIVAL	NC
78	536	E	SHERMAN	AVE	WHITELAW HOUSE	c. 1893	QUEEN ANNE	C
79	538	E	SHERMAN	AVE	DUPLAR HOUSE	c. 1896	QUEEN ANNE	NC

80	540/540 1/2	E	SHERMAN	AVE	WILLIAMS HOUSE	c. 1903	NATIONAL FOLK: CROSS-GABLE	NC
81	543, 543 1/2	E	SHERMAN	AVE	DUPLEX	c. 1930	CRAFTSMAN BUNGALOW	NC
82	544	E	SHERMAN	AVE	FONTRON - FRENCH HOUSE	c. 1908	SHINGLE	C
83	545	E	SHERMAN	AVE		c. 1930s	TUDOR REVIVAL	NC
84	546	E	SHERMAN	AVE		c. 1909	QUEEN ANNE	NC
85	548	E	SHERMAN	AVE		c. 1904	CRAFTSMAN, COLONIAL REVIVAL	NC
86	551	E	SHERMAN	AVE	FAIRCHILD HOUSE	c. 1900	HOMESTEAD	NC
87	557	E	SHERMAN	AVE		c. 1908	NATIONAL FOLK GABLE FRONT	C
88	559	E	SHERMAN	AVE	SAWYER HOUSE	c. 1917	CRAFTSMAN BUNGALOW	C
89	567	E	SHERMAN	AVE		c. 1920	COLONIAL REVIVAL	C
90	600	E	SHERMAN	AVE		c. 1905	NATIONAL FOLK: GABLE-FRONT	C
91	601	E	SHERMAN	AVE	SWEET HOUSE (DEMOLISHED 2009)	c.1908	NATIONAL FOLK: GABLE FRONT AND WING; HOMESTEAD	C
92	604	E	SHERMAN	AVE	SNELL-BROOKS HOUSE	c. 1905	COLONIAL REVIVAL	C
93	607	E	SHERMAN	AVE	BARTON HOUSE	c. 1897	NATIONAL FOLK: CROSS-GABLE	C
94	608	E	SHERMAN	AVE	HOLADAY HOUSE	c. 1923	PRAIRIE: FOURSQUARE	C
95	610	E	SHERMAN	AVE	GREENLEE-HOSTETTER HOUSE	c. 1912	COLONIAL REVIVAL	C
96	611	E	SHERMAN	AVE		c. 1908	PRAIRIE: FOURSQUARE	C
97	615	E	SHERMAN	AVE	JAMES HETTINGER HOUSE	1908	PRAIRIE: FOURSQUARE	C
98	618	E	SHERMAN	AVE		c. 1905	NATIONAL FOLK: SIDE GABLE	C
99	619	E	SHERMAN	AVE		c. 1908	ITALIANATE	NC
100	620-620 1/2	E	SHERMAN	AVE		c. 1905	PRAIRIE: FOURSQUARE COLONIAL REVIVAL	NC
101	622	E	SHERMAN	AVE	NEWTON HOUSE	c. 1920	COLONIAL REVIVAL	NC
102	623	E	SHERMAN	AVE	ESIMINGER HOUSE	c.1903	ITALIANATE	C
103	624	E	SHERMAN	AVE	BRASHEAR HOUSE	c. 1908	CRAFTSMAN BUNGALOW	C
104	625	E	SHERMAN	AVE		c. 1950	MINIMAL TRADITIONAL	NC
105	626	E	SHERMAN	AVE	JONES HOUSE	c. 1904	NATIONAL FOLK: PYRAMIDAL	C

106	633	E	SHERMAN	AVE	RAMSEY HOUSE	c. 1892	ITALIANATE	C
107	700	E	SHERMAN	AVE	ALEXANDER HOUSE	c. 1905	PRAIRIE: FOURSQUARE	C
108	701	E	SHERMAN	AVE	FAULKNER-SETNEY HOUSE	c. 1900	QUEEN ANNE	C
109	500	E	AVE	A	MCLEOD/RAYL-WAY HOUSE	c. 1971-1923	PRAIRIE	C
110	501	E	AVE	A	GAGE HOUSE	c. 1910	COLONIAL REVIVAL, PRAIRIE: FOURSQUARE	C
111	505	E	AVE	A	CHAPMAN HOUSE, ROBBINS APARTMENTS	c. 1910	NATIONAL FOLK: GABLE FRONT AND WING	C
112	506	E	AVE	A	SCALES HOUSE	c. 1908	COLONIAL REVIVAL	NC
113	507	E	AVE	A	CAMPBELL HOUSE	c. 1905	PRAIRIE: FOURSQUARE	C
114	508-508 <sup>1/2</sup>	E	AVE	A	BENTLEY HOUSE/ADAMS APARTMENTS	c. 1908	PRAIRIE: FOURSQUARE	C
115	509	E	AVE	A	BANGS HOUSE	c. 1905	PRAIRIE: FOURSQUARE COLONIAL REVIVAL	C
116	510	E	AVE	A	MEYER, EDWARD HOUSE	c. 1913	NATIONAL FOLK: GABLE FRONT AND WING	C
117	512	E	AVE	A	NATION HOUSE	c.1902	PRAIRIE: FOURSQUARE	C
118	514	E	AVE	A	SIMONS HOUSE	c. 1908	PRAIRIE: FOURSQUARE	C
119	515	E	AVE	A	SCHEBLE-MENKE VAN ZANDT HOUSE	c. 1884	QUEEN ANNE	C
120	519	E	AVE	A	KNORR HOUSE	c. 1905	NATIONAL FOLK: GABLE AND FRONT WING	C
121	522	E	AVE	A	CARR HOUSE	c. 1888	PRAIRIE: FOURSQUARE	NC
122	523	E	AVE	A	MYERS HOUSE	c. 1900	MIXED; ITALIANATE; L-PLAN	NC
123	524-524 <sup>1/2</sup>	E	AVE	A		c. 1888; porch c. 1930s	QUEEN ANNE	C
124	525	E	AVE	A		c. 1930	CRAFTSMAN BUNGALOW	NC
125	527	E	AVE	A	MOORE HOUSE	c. 1930	CRAFTSMAN BUNGALOW	C
126	528	E	AVE	A	GANO HOUSE	c.1900	QUEEN ANNE	C
127	531	E	AVE	A	HOSTUTLER HOUSE	c. 1905	PRAIRIE: FOURSQUARE, COLONIAL REV, CRAFTSMAN	NC
128	535	E	AVE	A	SCHRADER HOUSE	c. 1919	ITALIANATE	NC
129	539	E	AVE	A	CONNELLY HOUSE	c. 1890s/c. 1940	NATIONAL FOLK: T- PLAN	NC
130	540	E	AVE	A		1994	OTHER	NC
131	541	E	AVE	A		c. 1928	MINIMAL TRADITIONAL	C

132	542	E	AVE	A	SAWYER HOUSE	c. 1908	QUEEN ANNE	C
133	545	E	AVE	A	CHAPMAN HOUSE	c. 1890	QUEEN ANNE	C
134	546	E	AVE	A	VANDEVEER HOUSE	c. 1903	NEOCLASSICAL	C
135	547	E	AVE	A	WILLIAMS HOUSE	c. 1908	PRAIRIE: FOURSQUARE, COLONIAL REVIVAL	C
136	550	E	AVE	A	JOHNS HOUSE	c.1903	PRAIRIE: FOURSQUARE	C
137	551	E	AVE	A	BROWN HOUSE	c. 1908	CRAFTSMAN	C
138	600	E	AVE	A	WINSLOW HOUSE	c. 1908	PRAIRIE: FOURSQUARE	C
139	601	E	AVE	A		1908	QUEEN ANNE	C
140	603	E	AVE	A		c. 1908	PRAIRIE: FOURSQUARE	C
141	606	E	AVE	A		c. 1908	PRAIRIE: FOURSQUARE	C
142	607	E	AVE	A		c. 1908	PRAIRIE: FOURSQUARE	NC
143	608	E	AVE	A	TEED HOUSE	c. 1903	COLONIAL REVIVAL	C
144	609	E	AVE	A	HOUSE	c. 1908	NATIONAL FOLK: GABLE FRONT AND WING	C
145	610-610 1/2	E	AVE	A	JOHNS- COST HOUSE	c. 1914	NATIONAL FOLK: GABLE- FRONT, FOURSQUARE, TUDOR REVIVAL	C
146	611	E	AVE	A	WELCH HOUSE	c. 1911	PRAIRIE: FOURSQUARE	C
147	612	E	AVE	A	WILEY HOUSE	c. 1908	PRAIRIE: FOURSQUARE	C
148	615	E	AVE	A	WESTMACOTT HOUSE	c. 1908	NATIONAL FOLK: GABLE- FRONT	C
149	617	E	AVE	A	THOMPSON HOUSE	c. 1898	QUEEN ANNE	NC
150	618	E	AVE	A	PAYNE HOUSE	c. 1908	QUEEN ANNE; MIXED	NC
151	619	E	AVE	A	CHIFFIN-CAMPBELL HOUSE	c.1903	QUEEN ANNE	NC
152	620	E	AVE	A		c. 1914	OTHER	NC
153	621	E	AVE	A	MEISENHEIMER HOUSE	c. 1903	QUEEN ANNE	C
154	700-702	E	AVE	A	SMITH-HUMPHRIES DUPLEX	c. 1934	COLONIAL REVIVAL	C
155	701	E	AVE	A	CAMPBELL CHARLES HOUSE	c. 1906	NATIONAL FOLK: GABLE FRONT AND WING	C
156	703-703 1/2	E	AVE	A	MCKINNEY HOUSE	c. 1905	PRAIRIE: FOURSQUARE	NC
157	706	E	AVE	A	EMMERT HOUSE	c. 1905	PRAIRIE: FOURSQUARE	C
158	708	E	AVE	A	BOOTH HOUSE	c. 1912	NATIONAL FOLK: GABLE AND FRONT WING	C
159	709	E	AVE	A	DRYDEN HOUSE	c. 1912	NATIONAL FOLK: SIDE GABLE	NC

<b>160</b>	710	E	AVE	A	ROSE HOUSE	c. 1912	NATIONAL FOLK: GABLE-FRONT	C
<b>161</b>	711	E	AVE	A	STURGEON HOUSE	c. 1909	L- PLAN	NC
<b>162</b>	712	E	AVE	A	BOOTH HOUSE	c. 1908	NATIONAL FOLK: GABLE -FRONT	C
<b>163</b>	714	E	AVE	A	BROWN-SOUTHWORTH HOUSE	c. 1908	COLONIAL REVIVAL	C
<b>164</b>	715	E	AVE	A	BENNETT HOUSE	c. 1912	CRAFTSMAN BUNGALOW	C
<b>165</b>	718	E	AVE	A		1908	COLONIAL REVIVAL	C
<b>166</b>	719	E	AVE	A	LIVINGOOD HOUSE	c. 1900	QUEEN ANNE	NC
<b>167</b>	720	E	AVE	A	HOUSE	c. 1900	NATIONAL FOLK; HOMESTEAD	NC
<b>168</b>	721	E	AVE	A	OLIPHANT HOUSE	c. 1912	PRAIRIE: FOURSQUARE	C
<b>169</b>	723	E	AVE	A	CRAWFORD HOUSE	c. 1905	PRAIRIE: FOURSQUARE	C
<b>170</b>	724	E	AVE	A	HOLADAY HOUSE	c. 1912	COLONIAL REVIVAL	C
<b>171</b>	726	E	AVE	A		c. 1916	NATIONAL FOLK: PYRAMIDAL	NC
<b>172</b>	728	E	AVE	A	PRATHER-KRAUZER HOUSE	c. 1925	PRAIRIE; L- PLAN	C
<b>173</b>	730	E	AVE	A	GILPIN- LAYMAN HOUSE	c. 1905	PRAIRIE: FOURSQUARE	C
<b>174</b>	731	E	AVE	A		c. 1949	MINIMAL TRADITIONAL	NC
<b>175</b>	735	E	AVE	A	GRIMES HOUSE	c. 1880s	ITALIANATE	NC
<b>176</b>	6-8	S	CLEVELAND			c. 1930	MINIMAL TRADITIONAL	NC
<b>177</b>	7-11	S	CLEVELAND			c. 1945	MINIMAL TRADITIONAL	NC
<b>178</b>	15	S	CLEVELAND			1961	MINIMAL TRADITIONAL	NC
<b>179</b>	10	N	FORD			c. 1912	NATIONAL FOLK: GABLE-FRONT AND WING	C
<b>180</b>	12	N	FORD			c. 1950	MINIMAL TRADITIONAL	NC
<b>181</b>	104	S	FORD		EDWIN SAWYER HOUSE	c. 1905	NATIONAL FOLK: PYRAMIDAL	C
<b>182</b>	106	S	FORD			c. 1912	NATIONAL FOLK: PYRAMIDAL	C

### Brief history of district

The Houston Whiteside Historic District comprises seven additions platted during the 1880s building boom. The neighborhood quickly gained popularity among the city's most prominent residents for its convenient location between downtown's banks, churches and commercial enterprises and the city's growing number of industries, including the district's Kansas Sugar Refining Company Mill. Many high-profile citizens built mansions on the neighborhood's large lots. These included hardware store proprietor-turned irrigation pump manufacturer John Nelson. But construction ceased when the boom busted in 1888. Construction resumed as Hutchinson evolved into an agricultural and industrial center after the turn of the century. Among the new batch of magnates who lived in the neighborhood was George Gano whose grain empire included seventy country elevators. In the 1910s and 1920s, as automobiles made it possible for the city's elite to live farther from the city's central core, the remaining vacant

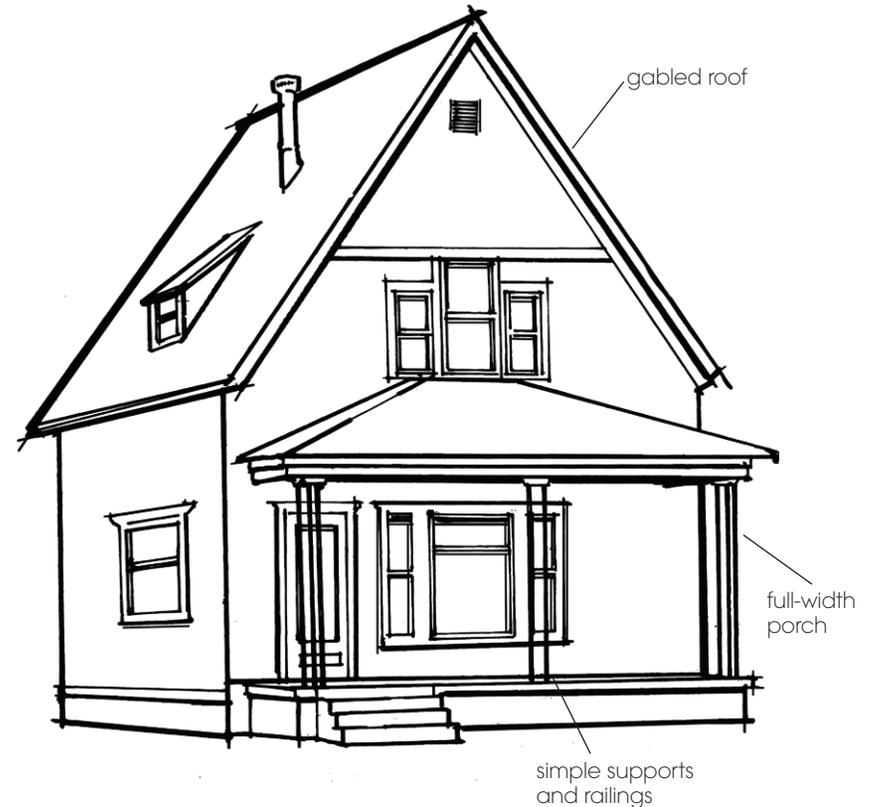
lots were developed with smaller working-class homes. Over time, many of the large mansions were divided into multi-family residences. The neighborhood experienced a revival in the 1980s when new residents returned to rehabilitate the city's historic core.

The district is named for Houston Whiteside, a prominent town founder who served as editor of the *Hutchinson News* and was involved in a great number of public and private pursuits in the areas of law, banking and commerce.

## Architectural Styles

### National Folk (50)

Many late nineteenth and early twentieth-century homes were designed and constructed in the American vernacular or folk tradition. Also known as farmhouses, National Folk houses generally fall into one of six categories: gable-front, gable-front and wing, hall and parlor, I-house, side-gabled massed-plan, and pyramidal. In Kansas, these homes are generally constructed using lightweight balloon-frame techniques, which proliferated with the mass-production of nails and availability of milled dimensional lumber shipped by railroad. Their architectural character lies in their form, usually a combination of masses with gable roof forms or a single mass with pyramidal roof. Most urban Kansas examples are gable-fronts with wings. The homes were being built as late as 1912 when Sears offered its gable-front with wing kit house “The Concord” (Model #114) in its catalog of mail-order kit houses.<sup>1</sup> Fifty of the homes in the Houston-Whiteside Historic District are classified as National Folk.

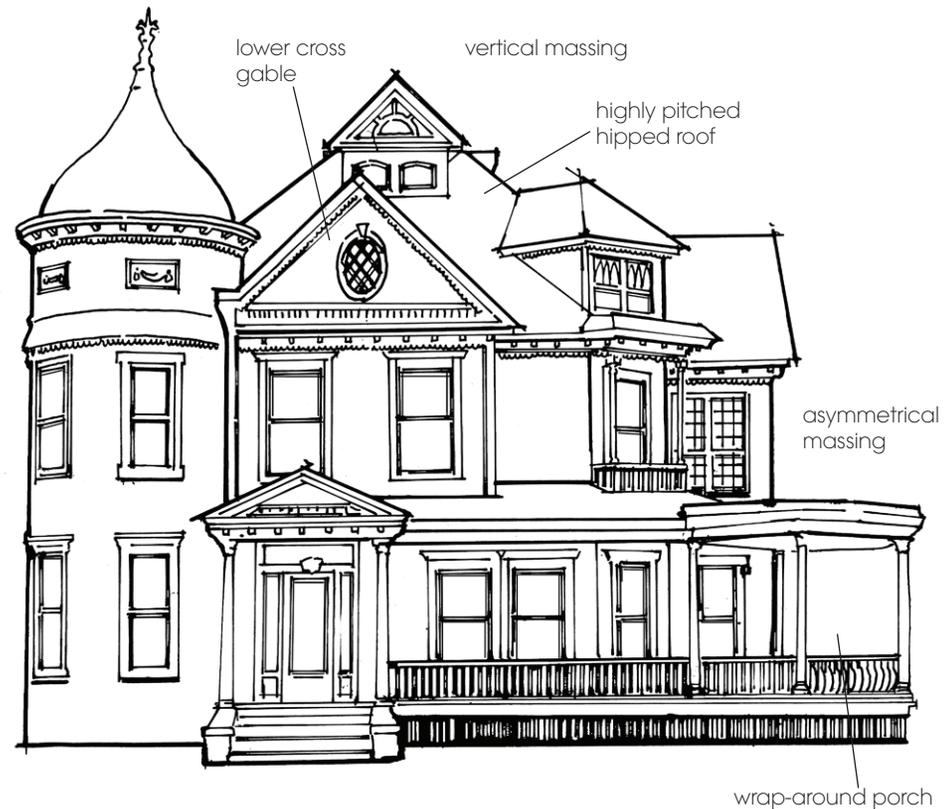


**Figure 1:** This National Folk home in the 700 Block of East Avenue A falls into a subtype known as a Homestead House, common in the early twentieth century.

<sup>1</sup> Sears Modern Homes, 1912 Catalog. Virginia and Lee McAlester, *A Field Guide to American Houses* (New York: Alfred A. Knopf, 1984), 88-101. Fred Peterson, *Homes in the Heartland: Balloon Frame Farmhouses of the Upper Midwest, 1850-1920* (Lawrence: University Press of Kansas, 1992).

**Queen Anne (37)**

Queen Anne was the predominant residential architectural style from 1880 to 1910. The style proliferated through home plan catalogs such as those distributed by Kansas native George Barber, who published such catalogs in Knoxville, Tennessee during the late nineteenth century.<sup>3</sup> Queen Anne homes are asymmetrical in massing with highly pitched hipped roofs with lower cross gables. There are two principal Queen Anne subtypes: the Spindlework subtype, found in homes built in the 1880s and 1890s, with its delicate applied ornament, turned columns, spindlework, and diverse wall textures like fish-scale shingles; and the Free Classic subtype, employed in the early twentieth century, with its shallower roofs, streamlined design and classical ornamentation, such as Tuscan columns. Other character-defining features include wrap-around porches, towers and decorative vergeboards. The majority of early twentieth century examples are one-story cottages with wrap-around porches. Some late Queen Anne examples are influenced by the Comfortable House phenomenon, with gable returns and pent roofs.<sup>4</sup> Whereas many examples of Queen Anne homes in Eastern Kansas towns are constructed of brick, most statewide are balloon-framed. Many Queen Anne homes were built in Hutchinson during the 1880s real estate boom. Thirty-seven of the homes within the Houston-Whiteside Historic District, whose early development is tied to the boom, are classified as Queen Anne.



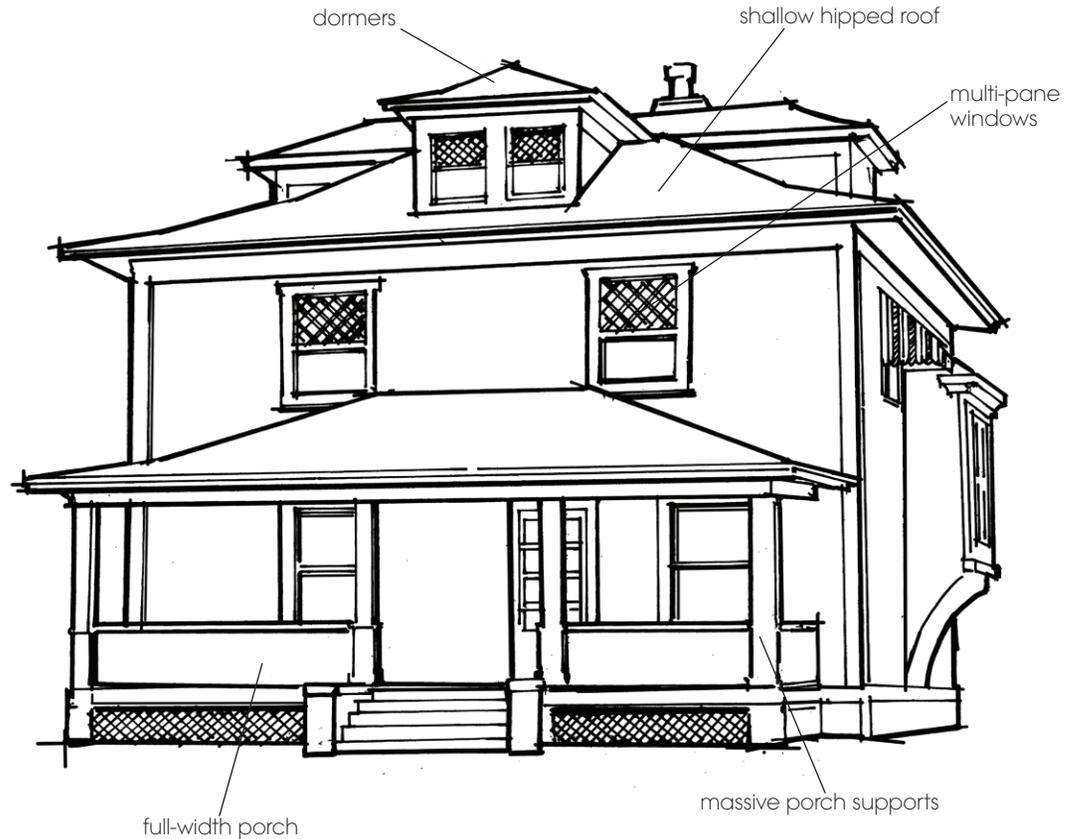
**Figure 2:** The Gano House at 528 E. Avenue A is a high-style Free Classic Queen Anne home with classical porch details to include a pediment and dentilling.

<sup>3</sup> George Barber, *George H. Barber's The Cottage Souvenir No. 2*. Reprint found at KSHS HPO Library, NA 7217.B2 H5.

<sup>4</sup> McAlester, 262-287. Poppeliers and Chambers, 72-74. Alan Gowans, *The Comfortable House: North American Suburban Architecture, 1890-1930* (Cambridge: MIT Press, 1986).

**Prairie/Foursquare (37)**

The Prairie Style, popular in the United States from 1900 to 1920, includes both high-style examples, inspired by early architects like Frank Lloyd Wright, and vernacular examples, promoted by mail-order catalogs. The style gained popularity after Frank Lloyd Wright published his Prairie Style designs in popular magazines including *Ladies Home Journal*. Character-defining features of the Prairie Style include shallow hipped roofs, wide overhanging eaves, multi-pane windows, and massive porch supports. Although there are very few high-style examples in Kansas, there are many vernacular examples in the form of the American Foursquare. Foursquares tend to have shallow hipped roofs pierced with dormers, full-width porches, symmetrical designs, and cubed massing. Foursquares were built during the same time period as Homestead Houses, and, therefore, often share stylistic details including temple fronts.<sup>6</sup> Thirty-seven homes in the Houston-Whiteside Historic District are classified as Prairie/Foursquare. These homes were built in the first two decades of the twentieth century, when Hutchinson grew from a farm town to an industrial and agricultural powerhouse.



**Figure 3:** There are a series of foursquare homes on East Avenue A, including this one at 512 E. Avenue A.

6 McAlester, 438-451. Poppeliers and Chambers, 110-114. Gowans, 84-89.

### Colonial Revival (19)

Interest in the Colonial style swelled after Philadelphia’s 1876 Centennial Exposition and the associated restoration of Independence Hall.<sup>7</sup> Colonial Revival residential architecture gained popularity following the 1893 Columbian Exposition, where Massachusetts exhibitors reconstructed the John Hancock House and Virginians built a replica of Mt. Vernon.<sup>8</sup> With the exception of high-style examples such as those executed from designs by famed architects McKim, Mead and White, Colonial Revival was first realized through subtle application of stylistic details, such as Palladian windows, to late Queen Anne or Foursquare homes. The Colonial Revival style finally came into its own in the 1910s and 1920s, when a growing middle class and the Nouveau Riche sought not only to portray a sense of permanency, but also to associate with the patriotic values that became more fervent with the advent of World War I.<sup>9</sup> The designs also conformed to the Progressive-Era tenet of simplicity, a reaction to the complexity of Victorian design. Like the growing auto suburbs, the Colonial Revival Style was unique to the United States. By the 1920s, revival-style homes – Colonial Revival, Dutch Colonial Revival and Tudor Revival – filled thousands of American subdivisions. Dutch Colonial Revival, first popularized by New York Architect Aymar Embury II, was inspired by the simple buildings constructed by Dutch immigrants who settled in New York’s Hudson River Valley.<sup>10</sup> Side-gambrelled roofs gained popularity in the 1920s and 1930s.<sup>11</sup> Nineteen homes within the district are classified as Colonial Revival. These date to Hutchinson’s oil and grain boom.



**Figure 4:** This high-style Colonial Revival home is at 610 E. Sherman.

7 W. Barksdale Maynard, “Best, Lowliest Style! The Early- Nineteenth-Century Rediscovery of American Colonial Architecture,” *Journal of the Society of Architectural Historians* 59, no. 3 (Sept 2000), 338-357.

8 William B. Rhoads, “The Colonial Revival and American Nationalism,” *The Journal of the Society of Architectural Historians* 35, no. 4 (Dec. 1976): 239-254.

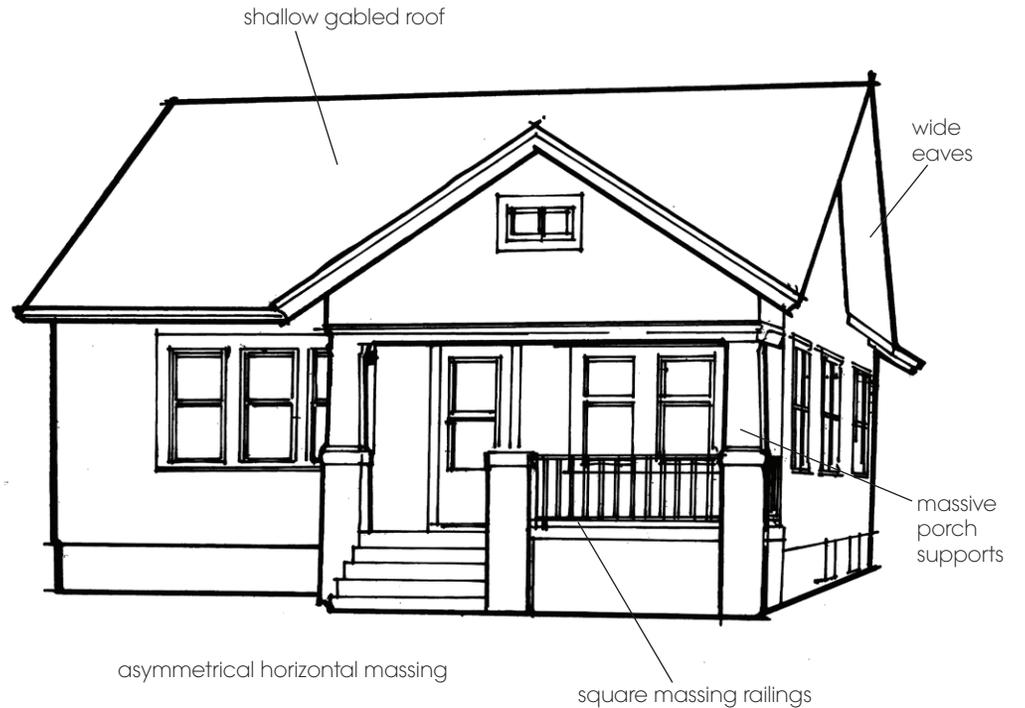
9 Ibid.

10 Ibid.

11 McAlester, 320-341.

**Craftsman/Craftsman Bungalow (9)**

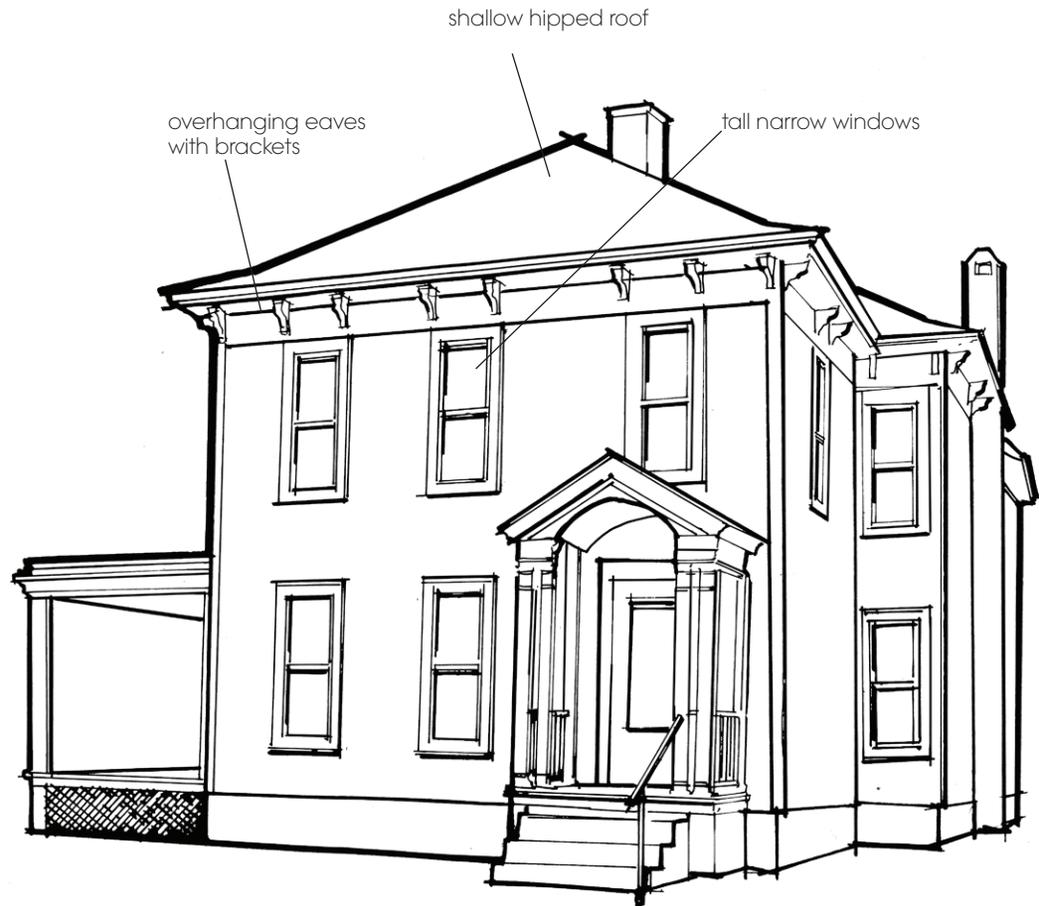
The Craftsman Bungalow, inspired by the work of California designers Greene and Greene, was the predominant American architectural style from 1910 to 1930. The earliest-known Kansas example is the Bullene House at 1185 Fillmore in Topeka, designed in 1909 by architect Walter Root, brother of John Wellbourn Root. By 1920, bungalows dominated American residential architecture. As the United States became more urban, families grew smaller, and families spent more leisure time outside the home, homes became smaller, cleaner, and more efficient. Bungalows generally have low-pitched front-gabled roofs or side-gabled roofs with dormers. Other character-defining features include wide overhanging eaves, exposed rafters, decorative beams, massive porch supports with square or battered piers, and multi-pane windows of various sizes, sometimes in groups of three. Nine homes in the Houston-Whiteside District are classified as Craftsman/Craftsman Bungalow. These date to Hutchinson’s oil-boom period and unlike the stately residences that surround them were likely built for the city’s working class residents.



**Figure 5:** This illustration of the home at 624 E. Sherman has been modified to show square railings. The original railings have been replaced with wrought iron.

**Italianate (5)**

The Italianate style has been classified as both a Late Victorian style and as one of the Romantic House styles, popularized before the Civil War. Like homes of other Romantic Styles, which also include Greek Revival, Gothic Revival, and Exotic Revivals, Italianate homes are generally symmetrical in massing. Like Gothic Revival and other Romantic styles, Italianate homes were popularized by the pattern books, including those by Andrew Jackson Downing and Alexander Jackson Davis. Character-defining features of Italianate residential architecture include shallow hipped roofs, overhanging eaves with eave brackets, and tall narrow windows (usually 2/2) with hood molds. Italianate homes, popular from 1840 until 1885, tend to be vertical in massing.<sup>2</sup> Five homes in the Houston-Whiteside District are classified as Italianate.

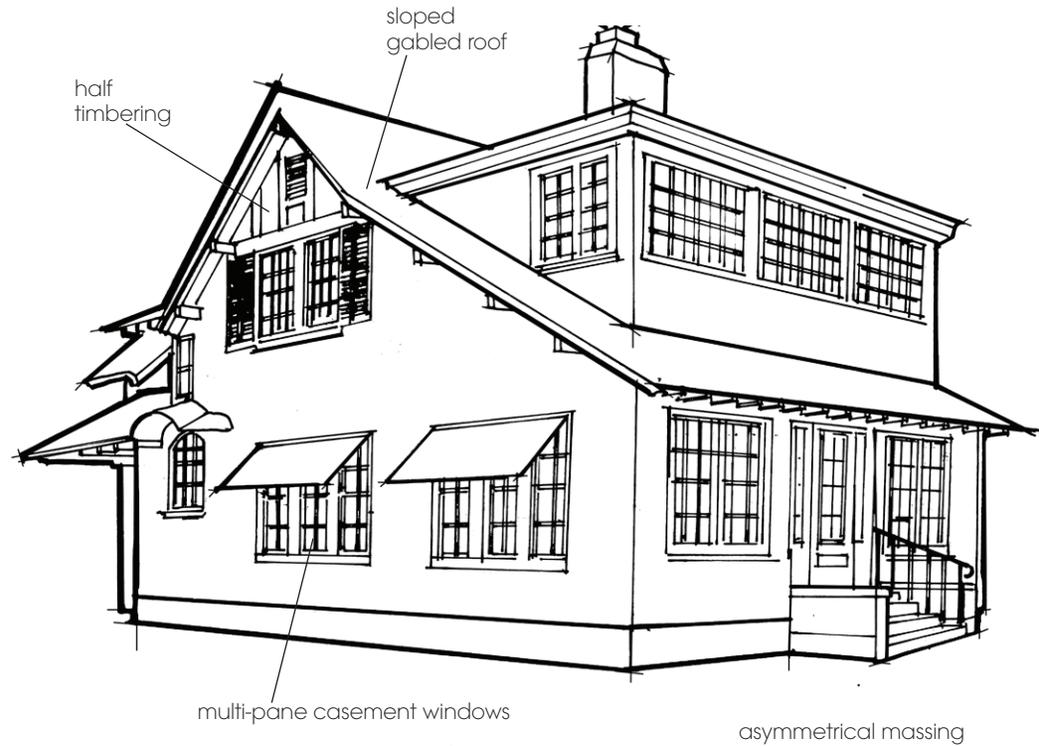


**Figure 6:** Italianate details on the Ramsey House at 633 E. Sherman include eave brackets, shallow roof and tall narrow windows. The stoop, with pediment and columns, is a Colonial Revival detail added later.

<sup>2</sup> McAlester, 210-229. Poppeliers and Chambers, 57-61.

**Tudor Revival (2)**

Tudor Revival buildings were constructed in the United States between 1890 and 1940. Most residential examples date to the 1920s, when they were built alongside other revival-style homes, such as Colonial Revival and Dutch Colonial Revival. Tudor Revival homes are often Tudor Revival designs include high-style two-story examples with combinations of materials including stone, brick and half-timbering. More common are Tudor Revival cottages – simpler 1 ½ story masonry or clapboard examples. Character-defining features of Tudor Revival include asymmetrical designs, steeply pitched roofs with overlapping and/or sloped gables, multi-pane windows, patterned stonework, rounded arched openings, and half-timbering.<sup>12</sup> Two of the homes in the district are classified as Tudor Revival and date to the city’s oil-boom period.

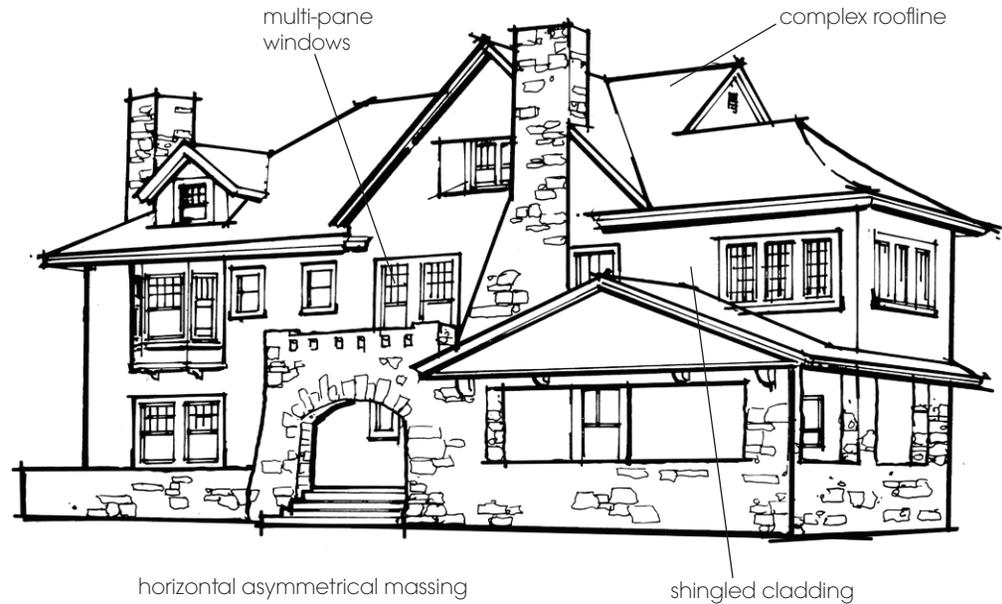


**Figure 7:** The Houston Whiteside House at 504 E. Sherman was re-designed in the Tudor Revival Style in the early twentieth century.

<sup>12</sup> McAlester, 355-371.

**Shingle (2)**

Shingle Style homes were popular from about 1880-1900. The style was employed on a number of architect-designed cottages, particularly in fashionable seaside communities in the northeast.<sup>5</sup> Among the architects who popularized the Shingle Style were H. H. Richardson and McKim, Mead and White. Well-known Kansas examples include Hillside Cottage (1887) in Wichita, designed by boom-time architect Willis T. Proudfoot as his personal residence and the Warren Welsey Finney House (1907-1908) in Emporia. The most distinguishable feature found on all Shingle Style houses is shingled wall cladding. Other character-defining features include complex rooflines with steeply pitched roofs, strips of three or more windows, and horizontal asymmetrical massing. Because many of these homes were built in the 1890s, when Kansas was in the midst of an economic crisis, there are very few examples in the state. Two of the homes in the Houston-Whiteside District are Shingle Style.

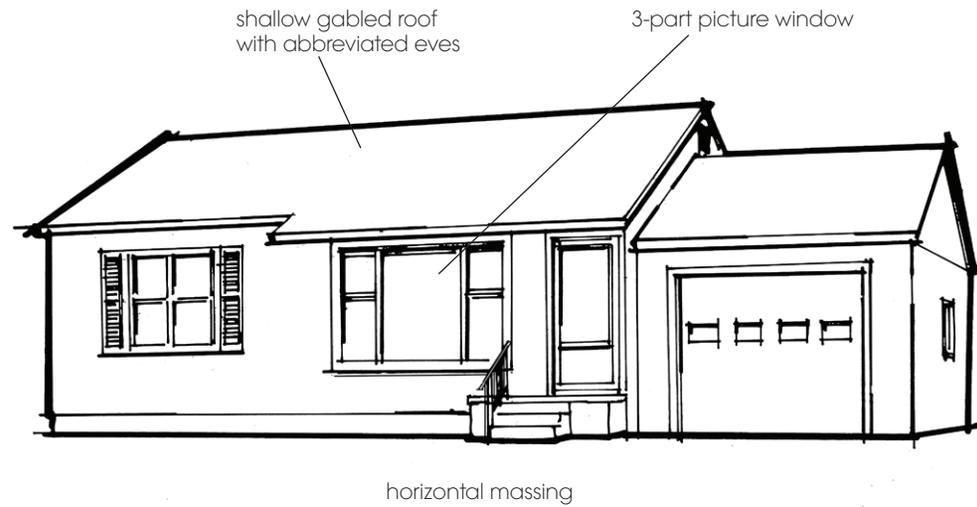


**Figure 8:** The McMillian-Kelley House at 512 E. Sherman is one of the state’s few high-style Shingle Style homes.

<sup>5</sup> McAlester, 288-299.

**Minimal Traditional (7)**

The Minimal Traditional style was a transitional movement between the revival styles of the 1930s and the Ranch style in the 1950s. Minimal Traditional homes were constructed during the Great Depression, World War II, and immediate post-war years, when the economic times and subsequent materials scarcity required efficiency in construction. Minimal Traditional homes are generally 1-story or 1 ½ stories in height and generally have shallow gabled roofs with abbreviated eaves, sometimes with lower front gables. Other character-defining features include multi-pane windows and simple chimneys. They lack the architectural details of Colonial Revival homes. They are not elongated like Ranch houses.<sup>13</sup>

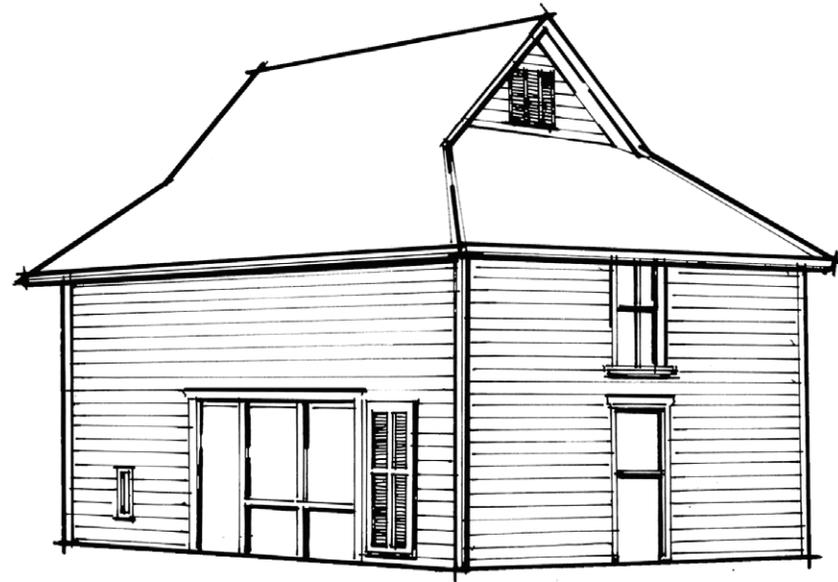


**Figure 9:** The home at 731 E. Avenue A is a typical example of Minimal Traditional architecture.

<sup>13</sup> McAlester, 477-478.

**Outbuildings**

The majority of nineteenth and early twentieth-century city dwellers did not have their own carriages or teams of horses. Those who could not afford their own rigs rented them from livery stables, where some city dwellers also stored their own teams and carriages. Those who could afford both the teams and buildings to house them, built carriage houses, sometimes in an architectural style similar to that used on the house. When the city’s wealthiest citizens bought the earliest automobiles, they stored their cars in carriage houses. Some early car owners rented parking spaces in auto garages, downtown buildings that followed the livery stable model. By the late 1910s and early 1920s, as mass-production drove down the cost of automobiles, cars outnumbered horses. During the 1920s, families built small one-car garages, available through mail-order catalogs or lumberyard kits. In Hutchinson, many early outbuildings were converted to apartments to fill a severe housing shortage when the salt and grain industries caused the city’s population to explode between 1890 and 1920.



**Figure 10:** The carriage house at the Faulkner-Setney House at 701 E. Sherman is one of the few remaining carriage houses in the district.

## Recommendations

### General Recommendations

Some basic advice:

1. Respect the rhythms, setbacks and character of the neighborhood.
2. Maintain properties to avoid costly repairs.
3. When architectural features or materials are deteriorated, repair rather than replace. (Historic wood is often old-growth wood, which is better quality than new wood. If repaired, it will last longer than new wood.)
4. If materials are deteriorated beyond repair, replace to match the existing in materials, design and appearance. For instance, replace wood with wood.
5. Do not remove historic materials or details that characterize the historic property's architectural style, such as spindlework or rafter tails.
6. Do not add materials or details that are inappropriate to the building's architectural style. For instance, do not add Queen Anne details to a bungalow, which is simple by design.
7. Do not use buildings for a new use that could compromise its historic character.

### Basic Preservation Treatment Approaches

Below are recommendations for various project types on buildings within the Houston Whiteside Historic District. For common project types, the recommendations are followed by sample language that can be used by property owners when applying for financial incentives or when applying for local or state design review. Recommendations are based upon the Secretary of the Interior's *Standards for Rehabilitation* (see Appendix A), standards used nationwide for review under preservation laws and preservation-related funding programs. Note: Every project is different. This document is not intended to fit every building or situation. Be sure to discuss project specifics with the city preservation planner and/or the State Historic Preservation Office.

**Uses**

**Background:**

The overwhelming majority of buildings in the Houston Whiteside Historic District were built as single-family residences, at a time when stately homes provided living quarters for large families and servants, as well as ample space for entertaining. When the community faced housing shortages in the first two decades of the twentieth century, many of the neighborhood’s outbuildings (see “Outbuildings” above) were converted to apartments. By 1942, when Hutchinson was selected as a site for a Naval Air Station, some of the neighborhood’s homes had been converted to flats or apartments. Beginning in the 1980s, many of those were converted back to single-family homes. The neighborhood is currently zoned to allow for use as single-family or two-family homes. Other uses, such as multi-family or bed and breakfast, require special or conditional use permits.

**Recommendations:**

A historic building should be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment. The most appropriate use for a home in the Houston-Whiteside Historic District is its historic use, generally single-family housing. If used for other purposes, such as multi-family or bed and

breakfast, the use should be accommodated with minimal changes to the building and site. For instance, parking for a bed and breakfast use should be off the alley or off an existing curb cut so as to limit the visual impact on the district.

Tips

1. Projects on non-income-producing properties, such as owner-occupied residences, may qualify for state historic tax credits.
2. Projects on income-producing properties, such as rental houses and bed/breakfasts, may qualify for both state and federal historic tax credits.

## Roofs

### Background:

Roofs are essential not only to maintaining the building envelope, but also to conveying a building’s historic character. For instance, Queen Anne homes can often be identified solely based upon their steeply pitched hipped roofs with lower cross gables (see Figure 2). A bungalow can be spotted by its low-pitched gabled roof with exposed rafter tails (see Figure 5). The appropriateness of a roof’s form or roofing materials can only be determined on a building-by-building basis. Within the district, there are front-gabled bungalows, side-gabled Colonial Revival and Minimal Traditional homes (see Figures 4 and 9), and hipped Queen Annes (see Figure 2). Regardless of the various roof forms, all of the homes in the Houston Whiteside Historic District have composition shingle roofs.

### Recommendations:

#### Overall Form

As noted above, a home’s roof shape is essential to its character. In general, changes to rooflines should be avoided. The addition of dormers or other elements constructed as part of expanding usable space, within attics for instance, may be appropriate provided these new elements are not visible from the public right-of-way (see “Additions”



**Figure 11:** This home in the 700 Block of East Avenue A has a gabled roof.



**Figure 12:** Like many foursquares, the Carr House at 522 E. Avenue A has a hipped roof.



**Figure 13:** Dormers, like this one on the Greenlee-Hostetter House, are common on Colonial Revival homes.

below). Adding new roof elements that were not part of the original building design is generally not recommended. For instance, visible dormers should not be added where they were not part of the historic design.

#### Materials

It is reasonable to conclude that the majority of homes in the Houston Whiteside Historic District had wood or composition shingles as their original roofing material. All roofs within the historic district are now clad with composition shingles. Composition shingles are therefore appropriate to the character of the homes in the district. Any proposal to change roofing material should be carefully evaluated. Replacement with wood shingles, for instance, will require additional

ventilation. Wood shakes, metal, clay tile or slate roofing materials are generally inappropriate for homes in the district. Roofing materials other than composition and wood shingles should only be considered if documentation shows that they were used on the home historically. This is important not only to maintaining a home’s historic character, but also its structural integrity as the roof structure may not be adequate to carry heavy roofing materials such as clay tile or slate. New materials and features, such as skylights, solar panels and mechanical or service equipment, are appropriate only when they are not visible from the public right-of-way.

Deteriorated Features

Deteriorated roof features, including cupolas, dormers, chimneys, soffits, fascia, etc. should be repaired rather than replaced or removed. Where the severity of deterioration requires replacement, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. It is inappropriate to cover soffits and fascia with artificial siding, not only because it has a different appearance, but also because it can conceal and worsen water problems.

Sample Tax Credit Form

<b>NUMBER</b> <b>1</b>	Architectural Feature:	<b>Roof</b>					
	Approx. Date of Feature:	<b>1990</b>					
Describe existing feature and its condition:							
Existing roof is clad with composition shingles over plywood decking. Shingles are in deteriorated condition. [Add info on gutters or other features like dormers]							
<table border="1" style="width: 100%;"> <tr> <td style="width: 25%;">Photo no.</td> <td style="width: 25%;">1, 2, 3, 4</td> <td style="width: 25%;">Drawing no.</td> <td style="width: 25%;">A1</td> </tr> </table>				Photo no.	1, 2, 3, 4	Drawing no.	A1
Photo no.	1, 2, 3, 4	Drawing no.	A1				
		Describe Work and impact on existing feature:					
		Remove existing shingles to decking. Evaluate decking and flashing. Replace decking and flashing in kind where necessary. Install new composition shingles over repaired decking according to manufacturer’s instructions and in accordance with Preservation Brief #4: Roofing for Historic Buildings. [Note any work related to gutters and/or dormers]					

Missing Features

Replacing missing roof features, including cupolas, dormers, chimneys, etc., is appropriate only when there is pictorial documentation or other evidence of the missing features. Replacement of the missing feature should be based on the documented historic appearance.

Tips

1. Many roof projects are funded in total or part with insurance proceeds. Please keep in mind that you cannot claim state historic tax credits on insurance proceeds.
2. Expenditures on projects that alter the volume of a historic building, including additions that may alter the volume of the roof, do not qualify for historic tax credits.
3. Wherever possible, repair deteriorated features. Keep in mind that historic features are often made of old-growth wood, which if repaired will last longer than new wood.

Links/Sources

Preservation Brief #4: Roofing for Historic Buildings, <http://www.nps.gov/history/hps/tps/briefs/brief04.htm>

## Windows Background:

Windows are important in conveying a home's historic character and architectural style. Gothic Revival and National Folk homes often have tall narrow window openings with 2/2 or 1/1 double-hung sash (see Figure 15). Queen Anne homes often have a mix of window types, which can include 1/1 double-hung sash and fixed-in-place feature windows. Prairie, Bungalow and Colonial Revival homes generally have multi-pane windows (see Figure 17). The majority of the homes in the Houston Whiteside Historic District retain their original wood windows.

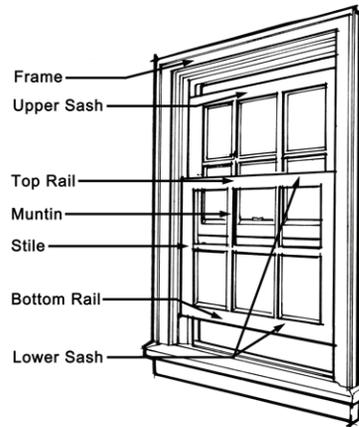
## Recommendations:

### Overall

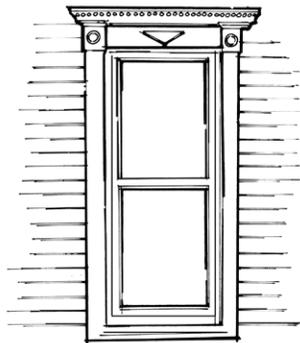
Because they are important in conveying historic character, original windows should be maintained and preserved whenever possible.

### Deteriorated Features

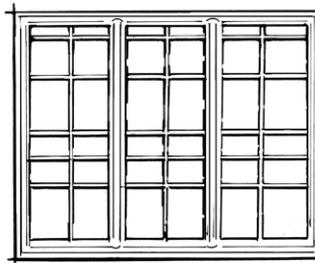
If window elements, such as rails, stiles and glass, are deteriorated or missing, they should be replaced in kind. Windows that are deteriorated beyond repair should be replaced with new windows that match the overall measurements and details of historic windows (see tips below). Consider sash replacement



**Figure 14:** Anatomy of a Window



**Figure 15:** 1/1 Double-Hung Window



**Figure 16:** Casement Window

instead of replacing the sash and frames.

### Missing Features

Where historic windows are missing or have been replaced, new windows should be compatible with the architectural style of the house and should fill the historic window openings. Where original windows are missing, wood windows, or aluminum-clad windows are appropriate replacements. Vinyl windows are inappropriate for this historic district.

### Tips

1. To improve the energy efficiency of wood windows, maintain with putty, caulking and weatherstripping, then install storm windows. Wood or enameled aluminum storm windows are best. Be sure that the storms are either a single fixed pane within a frame or that the meeting rail aligns with the meeting rail of your historic window.
2. The quality of historic windows, because they were milled of old-growth wood, is generally better than what can be purchased today. A maintained historic window will generally out-last a new window, which may only have a lifespan of 5-10 years.
3. Tax credit reviewers will only allow replacement windows where it can be documented that original windows are missing or deteriorated beyond repair. To do this, you will need to take photographs of deteriorated windows and provide measured drawings of existing and proposed windows. You will need to demonstrate that the dimensions of proposed new windows match those of historic windows.



**Figure 17:** Bay Window with Multi-Pane Sash

Links/Sources

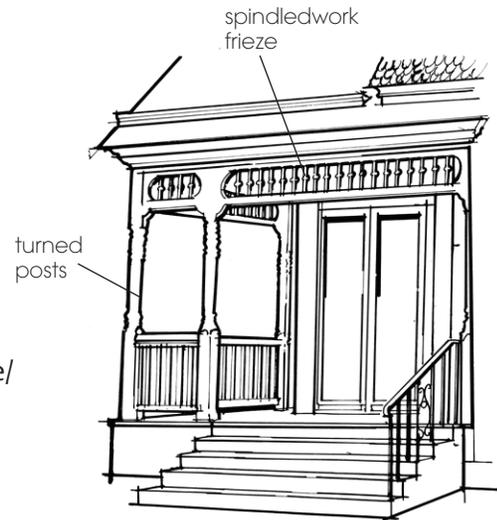
Preservation Brief #9: The Repair of Historic Wooden Windows, <http://www.nps.gov/history/hps/tps/briefs/brief09.htm>

Sample Tax Credit Form

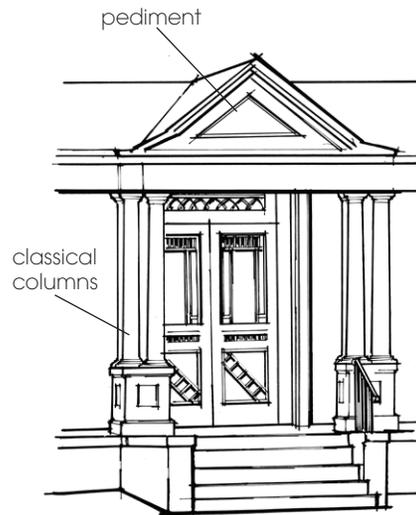
<b>NUMBER</b> <b>1</b>	Architectural Feature:	<b>Windows</b>	
	Approx. Date of Feature:	<b>1900</b>	
<u>Describe existing feature and its condition:</u>			
<p><b>Porches</b></p> <p>Existing windows are historic [double hung or casement] [1/1, 6/1, etc] wood windows [with storm windows]. Paint is peeling and rails are rotting. Windows no longer operate. Caulking and putty have failed, causing windows to leak.</p>			
<u>Describe Work and impact on existing feature:</u>			
<p>Examine wood windows. Remove sash if necessary for repair. Use epoxy consolidant and putty to repair damaged or rotted frames, stiles and rails. Where deteriorated beyond repair, replace severely deteriorated elements with new wood. Replace sash [chains or cords] where necessary to restore operability. Remove failed caulk and seal joints around window frame with caulk. Chip out loose glazing putty. Brush exposed areas with linseed oil. Pack with new putty and smooth to match historic putty line. Sand, prime and paint windows. Install new weatherstripping to improve energy efficiency. Install new storm windows with meeting rail to match that of the wood windows. Window repair to be in accordance with Preservation Brief #9: The Repair of Historic Wooden Windows.</p>			
Photo no.	1, 2, 3, 4	Drawing no.	A1

**Porches**  
**Background:**

Porches are important in conveying architectural styles of historic homes. The most common styles in this district are National Folk, Queen Anne/Free Classic Queen Anne, Prairie/Foursquare, Colonial Revival and Bungalow. National Folk Style homes (see Figure 1) generally have very simple symmetrical full-width porches with hip or shed roofs, simple porch supports, and, where present, simple railings. In contrast, Spindlework Queen Anne homes (see Figure 18) generally have complex asymmetrical porches with delicate spindlework friezes, porch supports and railings. Free Classic Queen Annes (see Figure 19), have porches with classical details, like classical columns, pediments, and dentils. Foursquares (see Figure 3) generally have full-width porches with hipped roofs, square wood supports (sometimes sitting atop masonry piers) and simple solid or square-post railings. Bungalow porches have very similar details to Foursquare porches; however, they can come in a variety of forms and can be full-width, partial width, symmetrical or off-centered.

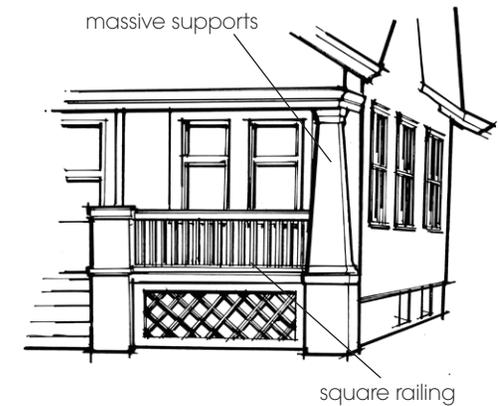


**Figure 18:** Spindlework Queen Anne Porch (528 E Sherman)



**Figure 19:** Free Classic Queen Anne Porch (514 E 1st)

Twentieth-century Colonial Revival homes (see Figure 4) often feature front stoops with pediments and columns or pilasters, versus full porches.



**Figure 20:** Craftsman Porch (624 E Sherman)

Fortunately, many homes within the district retain their original porches. In some cases, however, the porches have been removed entirely. The most common modifications are the removal and replacement of specific features. For instance, the railings and supports on many homes were replaced in the post-World War II era with wrought-iron railings.

**Recommendations:**

Overall

Where present, original porches should be maintained and preserved whenever possible as they are important in conveying a home's historic style.

Deteriorated Features

Deteriorated features should be repaired or, if necessary, replaced in kind (wood with wood, etc.), replacing only those individual elements that require replacement. Repaired historic wood will generally outlast new-growth wood. Replacement materials should match the overall measurements and details of the historic porch.

Missing Features

Where historic features, such as railings or supports, are missing or have been replaced, new features should be compatible with the architectural style of the house. If historic photos or other documentation exists, missing features may be restored based upon that documentation. Where no documentation exists, or where restoration is not an option, the missing features can be replaced with new features that are compatible with the home’s style. For guidance on replacing missing porches, look to similar homes in the historic district, examine a style guide, or consult a preservation professional such as preservation consultant, preservation planner or State Historic Preservation Office.

Tips

1. If you are lucky enough to have your original porch, maintain it by keeping it painted and properly roofed.
2. When replacing a missing porch, or porch elements, look to similar-style houses in guidebooks or the historic district for inspiration. Chances are your bungalow had a simple square porch railing with square supports.
3. Even if you have no photographs of your original porch, you may be able to determine the footprint of the historic porch by looking at historic Sanborn Fire Insurance Maps (see Figures 21 and 28). These are available at the Reno County Museum, in the Kansas Room at the Hutchinson Public Library, or online through the library.

4. Keep in mind that while your existing porch may not be original, it may be historic. For instance, your Queen Anne home may have a Craftsman porch that was added more than 50 years ago and has gained historic significance.
5. The vast majority of porches within the historic district are/were very simple. Unless you have documentation of an elaborate porch, keep the design of any proposed new porch simple and compatible with the house style.
6. Where an original porch is missing and a compatible replacement is being constructed, replacement materials, such as composite wood, may be an option.
7. Whereas repair, in-kind replacement, and reconstruction of historic porches and porch elements will qualify for historic tax credits, new porches, which expand the historic building footprint, do not qualify for historic tax credits. A reconstructed or compatible new porch will qualify for tax credits if it meets the preservation standards and it falls within the historic footprint of the building. To document the historic footprint of your porch, see Sanborn Maps (see Figures 21 and 28).
8. Wood features on historic porches were nearly always painted. Painting historic or replacement porches will not only protect the wood, but also ensure a compatible historic appearance.

Links/Sources

<http://www.cr.nps.gov/hps/tps/briefs/brief45.pdf>

Sample Tax Credit Form

For **repair** of existing wood porch:

<b>NUMBER 1</b>	Architectural Feature:	<b>Porch</b>	
	Approx. Date of Feature:	<b>1900</b>	
<u>Describe existing feature and its condition:</u>			
<p>The existing porch is historic. Some features, like [list missing features, railings, supports, etc], are missing. Some features, like [list deteriorated features that require repair, such as railings, supports, floor], are deteriorated but repairable [identify nature of deterioration – are the railings just missing paint or are they rotted?]. Other features, like [list severely deteriorated or missing features], are deteriorated beyond repair or missing and require replacement. [Add condition of the roof and/or structure if included in the porch work]</p>			
Photo no.	1, 2, 3, 4	Drawing no.	A1
<u>Describe Work and impact on existing feature:</u>			
<p>Examine the porch features. Use epoxy consolidant and putty where necessary to repair damaged or rotted wood. Where deteriorated beyond repair, replace severely deteriorated wood elements with new wood. Replace missing [railings, supports, floor, etc.] to match surrounding [railings, etc.] features. Sand, prime and paint. Remove existing shingles to decking. Evaluate decking and flashing. Replace decking and flashing in kind where necessary. Install new composition shingles over repaired decking according to manufacturer's instructions and in accordance with Preservation Brief #4: Roofing for Historic Buildings. [Describe any structural repairs]</p>			

For **replacement** of existing wood porch:

<b>NUMBER 1</b>	Architectural Feature:	<b>Porch</b>	
	Approx. Date of Feature:	<b>1900</b>	
<u>Describe existing feature and its condition:</u>			
<p>The historic porch is missing. The historic footprint of the porch is documented in Sanborn Maps (see attached). The home is [style] and plans were developed using [similar home in neighborhood, plan book] as a guide.</p>			
Photo no.	1, 2, 3, 4	Drawing no.	A1
<u>Describe Work and impact on existing feature:</u>			
<p>Construct new [wood, other materials] porch per attached plans. The replacement porch will occupy the footprint of the historic porch. [describe materials]</p>			

For reconstruction of existing wood porch:

<b>NUMBER</b> <b>1</b>	Architectural Feature:	<b>Porch</b>	
	Approx. Date of Feature:	<b>1900</b>	

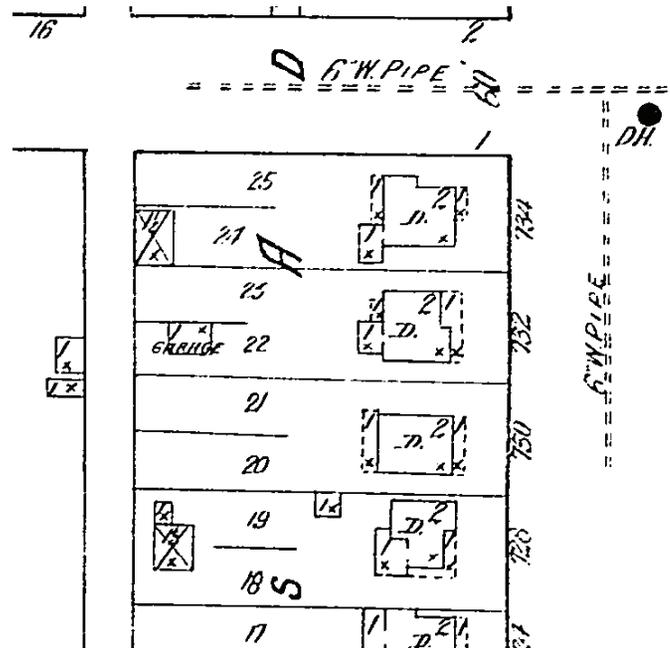
Describe existing feature and its condition:

The historic porch is missing. The historic footprint is documented in Sanborn Maps (see attached). The design of the historic porch is documented in historic photograph[s] (see attached).

Photo no.	1, 2, 3, 4	Drawing no.	A1
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Describe Work and impact on existing feature:

Reconstruct historic porch based upon historic documentation per attached plans. The replacement porch will occupy the footprint of the historic porch. [describe materials]

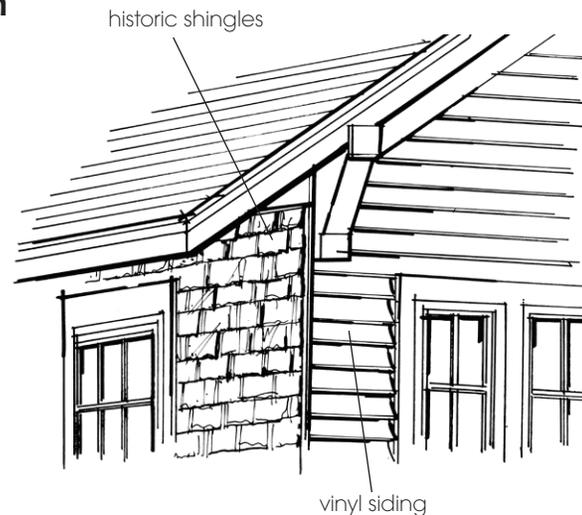


**Figure 21:** 732 E. Sherman is missing its original porch. This 1915 Sanborn Map shows that the historic porch was a one-story full-width porch. A new porch, which draws on the home’s historic Italianate design, would be appropriate.

## Siding/Exterior Trim Background:

The vast majority of the homes within the district historically were clad with wood clapboard or shingles and wood trim. Italianate homes often have wood clapboard and wood roof brackets. Queen Anne homes often feature a rich mix of textures, including wood siding, shingles and applied ornament (see Figure 2). Bungalows generally have narrow siding that accentuates the horizontality, and exposed rafter tails (see Figure 5). Some homes, particularly those built or modified in the 1920s, were clad in stucco (See Figure 7).

By the time the district was listed on the National Register of Historic Places, many of the homes had been covered in non-original siding. In fact, the majority of homes classified as “non-contributing” were so classified because they had non-original siding. Non-original siding, including vinyl, asbestos, Masonite, composition and aluminum, are not recommended for historic buildings for a number of reasons. First, siding can conceal a home’s historic character and architectural detail (See Figure 22) – and deterioration of the building’s historic materials underneath. Secondly, because siding is generally not watertight, seeping water can cause historic materials underneath to deteriorate



**Figure 22:** The home at 620 E Avenue A features historic shingles on the side elevations and vinyl siding on the front elevation.

without a means for seeing or addressing deterioration. And finally, siding can affect the breathability of a historic home, trapping moisture which can cause wood to rot and attract wood-destroying insects.

## Recommendations:

### Overall

If you are fortunate to have your original siding and historic trim, maintain it. See “Painting” below for advice on properly removing paint, priming and repainting it. Generally, non-original siding was applied over existing clapboard or shingles and original trim was retained. Unfortunately, in some cases, historic siding and/or trim was removed prior to the installation of non-original siding. If you have non-original siding and choose to remove it, proceed with caution to ensure the historic material remains beneath it. See the links below for guidance on removing non-original siding.

### Deteriorated Features

Historic wood siding and trim was milled from old-growth wood and is often a better-quality material than can be obtained today. Historic siding also provides a shadow line that can be difficult to replicate. Wherever possible, historic siding and trim should be maintained and repaired, versus replaced. Rotted or gouged wood can be filled using an epoxy consolidant and putty filler. Only those pieces that are deteriorated beyond repair should be replaced, with wood to match the original features in visual qualities and material. Composition siding products, such as fiber cement siding, may be appropriate on new buildings, such as new garages, etc., but are not appropriate for historic buildings. Vinyl and aluminum siding are inappropriate for both existing and new buildings in the district.

Missing Features

Missing features, such as shingles, siding, and wood trim, should be replaced to match historic features in visual qualities and materials. When no historic materials remain, for instance, if trim was removed when non-original siding was installed, look to other homes of the style in the neighborhood, as a guide. For instance, narrow siding is an appropriate replacement for a bungalow that is missing its historic siding.

Tips

1. If your home was classified as a non-contributor to the district because it had non-original siding, this classification may be updated if the non-original siding has been removed or if a proposed tax credit project includes its removal.
2. Many homes in the district had few historic architectural details. Avoid adding architectural details that were never present or are inappropriate to your home's architectural style. For instance, avoid adding Queen Anne details to a National Folk or Bungalow Style home.

Links/Sources

[http://www.oldhousejournal.com/Getting\\_Under\\_Second\\_Skins/magazine/1445](http://www.oldhousejournal.com/Getting_Under_Second_Skins/magazine/1445)

<http://www.nps.gov/history/hps/tps/briefs/briefo8.htm>

## Painting

### Background:

The vast majority of homes in the Houston Whiteside Historic District had painted wood, clapboard and shingles, as their historic exterior finish. Others had painted stucco. Today, many have wood clapboard and shingles covered with non-original siding. Unfortunately, the paint on many of the district's homes is failing, jeopardizing the integrity of the wood.

### Recommendations:

Paint is designed to repel moisture from exterior building materials, particularly wood. Therefore, a proper paint job is the first line of defense in preserving a home's structural integrity. The condition of the existing paint will determine the approach to your painting project. If the paint is chalking, the chalk should be rinsed off with a mild detergent system and surface dried before re-painting. If the paint is crazing, prepare the surface by sanding, then re-paint. If the paint is peeling between layers, scrape, sand and re-paint. Only where absolutely necessary, if the paint is peeling or cracking to the bare wood, should the paint be completely removed, the surface sanded, primed and re-painted.

### Tips

1. Historic wood can hold only a limited number of layers of paint. Don't paint unless the home needs it.
2. Remove paint using the gentlest means possible, usually hand scraping and sanding or scraping with the aid of a heat gun, to avoid damaging the wood. Avoid abrasive or potentially dangerous techniques, such as sandblasting, waterblasting, rotary sanding, and torching, which can damage the wood.

3. Prime bare wood within 48 hours and repaint.
4. Avoid stained surfaces as these are generally not historically appropriate and may not offer the necessary protection for historic wood.
5. The state preservation statute and local preservation ordinance have no requirements regarding paint colors. However, paint manufacturers often have great tools for choosing a color scheme that is appropriate to the period and style of your home. See links below.

### Links/Sources

<http://www.nps.gov/history/HPS/tps/briefs/brief10.htm>

<http://www.sherwin-williams.com/homeowners/color/find-and-explore-colors/paint-colors-by-collection/historic-collection/>

## Masonry

### Background:

Although the vast majority of the homes within the historic district are wood-framed with wood siding, they all have masonry foundations of limestone, brick or concrete. Some also have masonry porch supports.

### Recommendations:

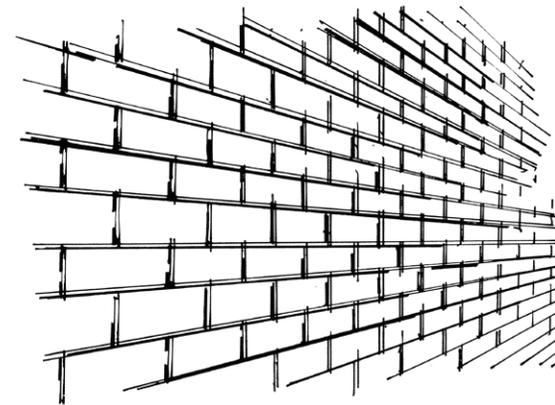
Inappropriate treatment of historic masonry can have devastating consequences. Before you begin any masonry work, research and plan carefully. The risks of cleaning historic masonry often out-weigh benefits of cleaning. If the masonry simply has an aged appearance, cleaning is not necessary. When mildew or organic growth is present, cleaning may be appropriate. Before cleaning, however, you will need to address any moisture issues that are causing the soiling. To remove paint from brick, chemical paint stripper is the best approach. Never use abrasive means, sandblasting or waterblasting, to clean historic masonry as these techniques can cause irreversible damage to the masonry. Sealing is generally not necessary and can cause moisture damage. Mortar is designed as a sacrificial material to allow bricks and stones to expand and contract. If the mortar is harder than the surrounding masonry, it can cause damage to the masonry. Periodically, mortar should be removed and replaced, called “repointing.” Mortar should be removed using the gentlest means possible, usually by hand, to ensure the masonry is not damaged. Mortar should be replaced with new mortar that matches the historic mortar in material, color, texture, and tooling.

### Tips

1. Only qualified professionals should work on historic masonry. Ask for references and examine prior work. The Kansas State Historic Preservation Office maintains a list of masonry professionals with historic preservation experience (see links below).
2. Ask your contractor to prepare a mockup in an obscure location for your approval prior to carrying out the remainder of the work.
3. Mortar should be softer than the surrounding masonry so it can act as an expansion joint.

### Links/Sources

<http://www.nps.gov/history/hps/tps/briefs/brief01.htm>  
<http://www.nps.gov/history/hps/tps/briefs/brief02.htm>  
<http://www.kshs.org/p/preservation-standards-and-techniques/14649>



**Figure 23:** Brick wall.

## Interior Woodwork

### Background:

The majority of the homes in the Houston Whiteside Historic District feature mass-produced woodwork that was available for order through local lumberyards and mail-order catalogs. Wood details in Queen Anne homes included parquet floors, elaborate staircases with delicate balusters, paneled doors and wainscoting, and detailed trim and spindlework. Queen Anne homes often had a mixture of wood species – some with stained finishes, others with grained finishes. Free Classic Queen Annes and Early Colonial Revival homes featured simple trim, egg and dart molding and tongue-and-groove wood floors, both painted and unpainted. Prairie and Craftsman home details included exposed woodwork (often quarter-sawn oak), beamed ceilings, wainscoting, and built-in bookshelves. Colonial Revival homes had painted woodwork, simple trim and crown molding. The most common finishes are paint, shellac and varnish.

### Recommendations:

If the historic finish is intact, retain it and clean using a mild detergent, such as diluted dishwashing liquid, and finish with wax. If refinishing is necessary, carefully strip finish using steel wool and chemical solvent. If necessary, lightly sand in the direction of the wood grain only if necessary. Vacuum, stain to match historic finish and seal with two coats of sealant such as water-based polyurethane.

### Missing Features

Where historic trim is missing, replace with new trim to match historic trim or replace with compatible simpler new trim. For instance, simple squared-off baseboards are compatible with most historic home styles. On new walls, install new trim that

is different than historic trim to differentiate the new walls from historic walls. For instance, install the same height baseboards with fewer architectural details.

### Tips

1. First do no harm. If woodwork is in good condition, consider cleaning instead of refinishing. Woodwork can be cleaned with diluted mild detergent, such as Murphy's Oil Soap or dish liquid, then waxed.
2. Before deciding how to treat historic woodwork, evaluate the style of your house. If your home is a Colonial Revival home, the woodwork was likely meant to be painted. Stripping paint will likely only expose woodwork that was never meant to be exposed. In contrast, the woodwork in Craftsman Bungalows was meant to be exposed. If you have a Queen Anne home, stripping paint may also strip faux graining on lesser-quality wood.
3. Test the existing finish using denatured alcohol. If the finish comes off, it is shellac. If it softens but does not come off, it is water-based polyurethane. If it does not come off at all, it is oil-based polyurethane or varnish. Strip, seal, stain, and top coat.
4. Avoid high-gloss finishes, like glossy polyurethane, which are inappropriate for historic wood surfaces.

### Links/Sources

Labine, Clem and Carolyn Flaherty. *The Old House Journal Compendium*. Woodstock, New York: Overlook Press, 1980.

Specification for Cleaning Wood Surfaces: <http://www.gsa.gov/portal/content/113066>

Wood Flooring Specification: <http://www.gsa.gov/portal/content/113590>

Specifications for Refinishing Interior Woodwork: <http://www.gsa.gov/portal/content/112270>

## Walls/Ceilings

### Background:

Historic walls and ceilings within the district are generally plaster on wood lath, the most common wall finish until post-World War II. Plaster was generally applied to historic lath using a three-coat process with a scratch coat, brown coat and finish coat. Historic plaster is durable, fire-resistant, insulating, and often less expensive to repair than to replace. Retaining the historic plaster will also maintain the historic relationship between the wall plane and historic trim.

### Recommendations:

Maintain existing plaster by controlling the home's temperature and moisture. Carefully examine plaster. Patch hairline cracks and small holes with patching plaster. Gypsum board is an appropriate replacement for missing or severely deteriorated plaster, such as where ceiling plaster has collapsed, provided the relationship between the trim and wall plane is retained.

### Tips

1. Install new electrical and plumbing by concealing within existing or new walls and ceilings.

### Links/Sources

<http://www.nps.gov/history/hps/tps/briefs/brief21.htm>

## Additions

### Background:

As long as there have been buildings, there have been additions to buildings. Because additions could potentially compromise not only a home's historic integrity but also structural integrity, they require careful planning.

### Recommendations:

Whenever possible, new additions should be made to the rear of a historic building. New additions should be compatible with the size, scale, materials and massing of the historic building, but differentiated. For instance, a new addition may have the same materials as the historic home, but be stepped back from the historic wall plane. Because new construction often has a shorter lifespan than historic construction, new additions should be constructed in a manner that they can be easily removed. Wherever possible, historic openings should be used to access the new addition from the historic building. New additions should be constructed in a manner that does not obscure or destroy character-defining features. New additions should also be limited in size in comparison, be subordinate to the historic building.

### Tips

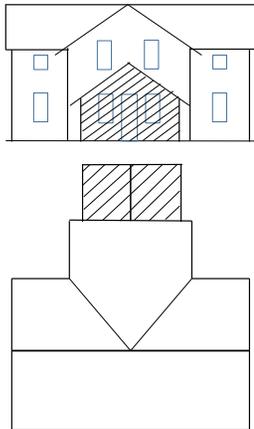
1. Before exploring an addition, consider the possibility of accommodating new uses within underutilized existing spaces, such as basements and attics. The functionality of attic space may be improved through the placement of a dormer or dormers on the building's rear.
2. Avoid rooftop additions.
3. Hire an architect with preservation experience to design your addition.
4. Expenses associated with additions that expand the building's volume do not qualify for historic tax credits.

Links/Sources

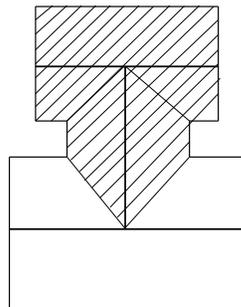
<http://www.nps.gov/history/hps/tps/briefs/brief14.pdf>

Shirley, Frank. *New Rooms for Old Houses: Beautiful Additions for the Traditional Home*.

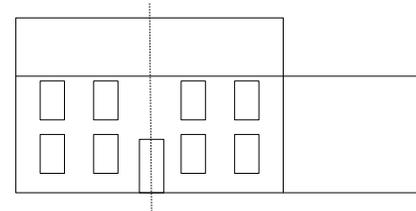
Newtown, CT: The Taunton Press, 2007.



**Figure 24:** Ideally, new additions should be made to rear elevations and be subordinate to the historic building.



**Figure 25:** One way to create a new addition that is reversible and differentiated from the historic building is to attach by a connector or hyphen.



**Figure 26:** Side additions should generally be avoided, particularly on symmetrical buildings.



**Figure 27:** One way to avoid major additions is to convert attics into usable space through the construction of a dormer addition on the rear elevation.

## Demolition

### Background:

The Houston Whiteside Historic District retains a historic relationship between buildings, features and open space. Fortunately, the vast majority of lots within the Houston Whiteside Historic District retain historic homes. Unfortunately, many of these homes are in deteriorated condition; and low property values sometimes make it difficult to justify repairs once a property is in severely deteriorated condition. Since the district was listed on the National Register of Historic Places in 2004, two of the district's homes, 526 E. 1st and 601 E. Sherman, have been demolished.

### Recommendations:

Whenever possible, avoid the demolition of historic homes and outbuildings within the district. Learn about available incentives, such as the Neighborhood Revitalization Program and Historic Tax Credits (see Appendix C).

### Tips/Sources

1. The City of Hutchinson has adopted the 2006 International Property Maintenance Code. Appendix D illustrates the inspection list under this code.
2. Where removal of a building is necessary, replace with a new compatible building (see "Infill" below).

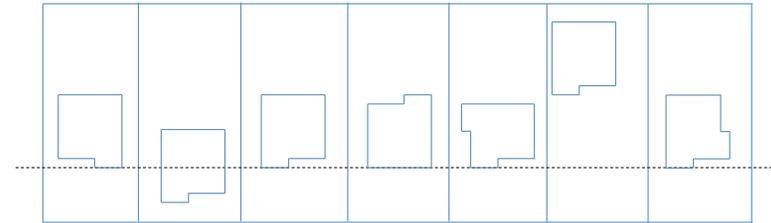
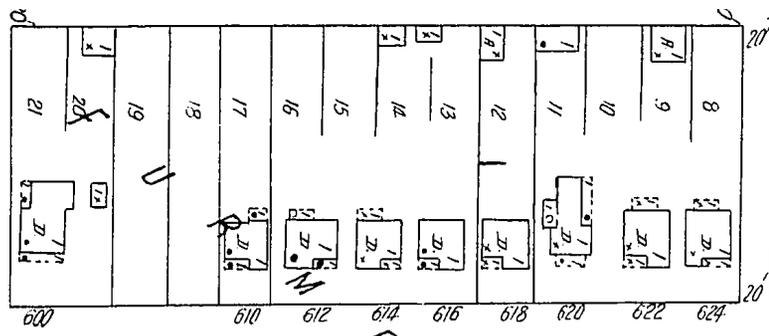
## Infill Construction

### Background:

Buildings within the historic district represent a wide range of architectural styles and dates of construction. Despite the various building types represented within the district, they fall within clear patterns of setback, scale and materials. The majority of homes are one or two-stories in height, cubed in massing, and have wood clapboard or shingled exteriors. There are a number of vacant lots within the historic district that may be candidates for new construction. New construction that is compatible with the patterns and rhythms of the historic district, is appropriate on empty lots, particularly those historically occupied by residences.

### Recommendations:

New buildings should be compatible with the scale, setbacks and forms of the neighborhood and on the block of the proposed infill building. For instance, homes in the 600 Block of East First are one-story in height, cubed in massing, set close to the street, and spaced very closely to one another. In contrast, homes on East Sherman are larger - two-stories in height, and centered on two to three lots. Infill within these blocks should follow the same patterns. New homes may take cues from the



**Figure 29:** Infill houses should follow the setback patterns in the neighborhood, rather than be farther set back from the street as in the sixth home in this diagram.

architectural styles of surrounding homes. For instance, many pattern book companies have stock plans for new homes that look like Foursquares, Bungalows and Queen Annes. But there is also room for creative new designs that are consistent with the patterns of the neighborhood. Appropriate materials for infill homes include wood clapboard and wood shingles. Fiber cement siding may also be used on infill homes provided that the width and profile is consistent with that found on historic homes in the district. Vinyl siding, metal, and fiberboard are inappropriate for use in the district.

### Tips

1. When locating a new building, look to historic patterns as a guide. Historic Sanborn Maps (See Figures 21 and 28) will provide some inspiration for setbacks, roof forms and massing.

**Figure 28:** This historic Sanborn Map shows the typical setbacks, spacing and footprints of the homes in the 600 Block of East First.

## Outbuildings

### Background:

At the time the Houston Whiteside Historic District was listed on the National Register in 2004, there were 120 outbuildings, 54 of which were classified as contributing to the historic district. The vast majority of these were small detached garages, generally not highly visible from the street. Although many of these were historically accessible via the alley only, there are driveways that extend from curb cuts on the street; some of these, like the strip driveway at 525 E. Avenue A, date to the early twentieth century.

### Recommendations:

Historic outbuildings should be maintained and preserved wherever possible. New outbuildings should be consistent not only with the size, scale, design and materials of historic outbuildings in the district, but also with the architectural style of their associated homes. Among the district's typical historic outbuildings are detached 1920s single-car garages with 12/12 pitch gabled or shallow hipped roofs and clapboard or shingle siding. Appropriate sizes for infill outbuildings include one-story one-car garages and one and a half story two-car garages. Roof shapes should be consistent with those of outbuildings in the district, and with the roofs of associated homes. Appropriate roof shapes for new outbuildings include 12/12 gabled roofs or shallow hipped roofs; although the roof shape of a new outbuilding may also reflect the associated home's roof. Regardless of a historic home's roof form, a complex roof form, such as hipped roof with lower cross gables, is inappropriate for an outbuilding. Appropriate roofing materials include composite shingles and wood shingles (not wood shakes). Historic materials on existing outbuildings should be retained and preserved. Appropriate materials for new outbuildings include wood clap-

board which is consistent with the width of clapboard on the historic home, and wood shingles where the associated home is clad in shingles. Fiber cement siding may also be used on new outbuildings provided that the width and profile is consistent with that found on the home's siding. Vinyl siding, metal, and fiberboard are inappropriate for use in the district. Attached garages are inappropriate. New outbuildings should be placed at the back of the lot where they are least visible from the street. Wherever possible, particularly where no existing curb cuts and driveways exist, new outbuildings should be accessible from the alley. New curb cuts should be avoided, particularly at locations with raised retaining walls.

### Tips

1. All outbuildings in the district shall comply with Section 27-314 of the Hutchinson Zoning Regulations, which provides maximum square footage and materials requirements.
2. Look to historic garages and outbuildings within the district as a guide when designing new outbuildings.
3. If your garage or other outbuilding is classified as a "contributor" to the historic district, work on it will qualify for historic tax credits.
4. Use Sanborn Maps (see Figures 21 and 28) as a guide for locating new outbuildings.
5. Keep it simple! Historic garages and outbuildings within the district were very simple, with little architectural ornament. It is not necessary to add architectural ornament to new outbuildings.

### Links/Sources

<http://www.americanbungalow.com/2010/07/the-bungalow-garage/>

## Energy Efficiency

### Background:

Before electricity and advanced mechanical heating and cooling systems, homebuilders maximized human comfort through careful site planning and time-honored construction techniques. Houses were placed on large lots surrounded by large trees. These, along with ample porches, awnings and shutters shielded the hot sun. Large windows provided both natural lighting and ventilation. Louvers allowed hot air to escape from unoccupied attics. These integrated systems that evolved over a period of centuries are little appreciated today when old homes have the reputation of being drafty and inefficient. Before rushing to replace historic materials, property owners should explore techniques for improving the efficiency of their historic homes. For instance, homeowners are often quick to replace historic windows when the vast majority of energy loss is through attics and roofs. Windows are often leaking not because they need to be replaced, but because they require maintenance.

### Recommendations

Historic materials, such as windows, should be repaired rather than replaced. Work to improve energy efficiency should take an additive versus destructive approach. For instance, storm windows, awnings, shutters, caulking, weather-stripping and even heavy drapes can improve the energy efficiency of historic windows. Foam insulation should be avoided as it can prevent wood-framed buildings from breathing and cause condensation issues, including paint failure. Insulate attics with loose-fill cellulose insulation and basements with rolled insulation. Additional energy-saving measures, such as the addition of solar panels, should be undertaken in a way that they are not visible from the public right of way. New heating and cooling systems should be installed in a manner that doesn't destroy historic spaces or

fabric. Ceilings should not be lowered and walls should not be furred out.

### Tips

1. Insulate unfinished attics with loose-fill cellulose, with a vapor barrier facing down toward the finished space.
2. Insulate basements with rolled insulation, with the vapor barrier facing up toward the finished space.
3. Install weather-stripping on doors and windows.
4. Shade south-facing windows with awnings.
5. Install heavy drapes or quilted shades to reduce air infiltration during winter.
6. Install energy-efficient fluorescent bulbs.
7. Install storm windows on existing windows. For operable storms, be sure the horizontal band aligns with the meeting rail of the historic windows.
8. Choose a light roof color, such as light gray, which will keep the attic cooler.
9. Install energy-efficient heating and cooling systems.
10. Where necessary to insulate walls, ceilings and roofs, avoid foam insulation, which can cause condensation problems. Avoid furring walls, which can affect historic trim.

### Links/Sources

<http://www.kshs.org/p/sustainability-energy-efficiency-historic-preservation/15680>  
<http://www.nps.gov/tps/standards/rehabilitation/sustainability-guidelines.pdf>

## Review

The state historic preservation statute (KSA 75-2715 - 75-2725) requires that the State Historic Preservation Office (SHPO) be given the opportunity to comment on projects that may “encroach upon, damage or destroy” a property listed on the National Register, the Register of Historic Kansas Places or its environs. When a non-federal project undertaken by or requiring a permit from a governmental entity is proposed on a listed property or within 500 feet of a listed property, the SHPO must be notified. If the preservation officer determines that a project will not “encroach upon, damage or destroy” a listed property or the environs of a listed property, the project may proceed as planned. If the preservation officer determines that a project will “encroach upon, damage or destroy” a listed property or the environs of a listed property, the project may not proceed until the Hutchinson City Council determines that there are “no feasible and prudent alternatives” to the proposed project.

The City of Hutchinson has entered into an agreement with the State Historic Preservation Office to carry out reviews of projects in accordance with the state preservation statute. Simple projects, known as “Minor Reviews,” may be reviewed by Planning and Development Department staff prior to issuing a permit. More complicated projects, known as “Major Reviews,” require review and approval by the Hutchinson Landmarks Commission. For major reviews, the Planning and Development Department must receive materials at least fourteen days in advance of a meeting of the Landmarks Commission. For a guide to the historic review process see Appendix F.

## Appendices

**A - Secretary of the Interior's Standards for Rehabilitation**

**B – State Preservation Statute**

**C – Preservation-Related Funding (Tax Credit Program, Heritage Trust Fund Grant Program, Neighborhood Revitalization Program)**

**D – 2006 International Property Maintenance Code Inspection List**

**E – Permit Process**

**F – Historic Review Process**

**G - Sourcelist**

## Appendix A

### Secretary of the Interior's Standards for Rehabilitation

## **Secretary of the Interior's Standards for Rehabilitation**

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

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## Appendix B

### State Preservation Statute

**Kansas Preservation Act**

75-2724. Government projects; existence of threat to historic property, procedure for determining; determination of whether to proceed, factors; judicial review; penalty, failure to follow procedures; delegation to cities, counties or state board of regents or institutions. (a) The state or any political subdivision of the state, or any instrumentality thereof, shall not undertake any project which will encroach upon, damage or destroy any historic property included in the national register of historic places or the state register of historic places or the environs of such property until the state historic preservation officer has been given notice, as provided herein, and an opportunity to investigate and comment upon the proposed project. Notice to the state historic preservation officer shall be given by the state or any political subdivision of the state when the proposed project, or any portion thereof, is located within 500 feet of the boundaries of a historic property located within the corporate limits of a city, or within 1,000 feet of the boundaries of a historic property located in the unincorporated portion of a county. Notwithstanding the notice herein required, nothing in this section shall be interpreted as limiting the authority of the state historic preservation officer to investigate, comment and make the determinations otherwise permitted by this section regardless of the proximity of any proposed project to the boundaries of a historic property. The state historic preservation officer may solicit the advice and recommendations of the historic sites board of review with respect to such project and may direct that a public hearing or hearings be held thereon. Any such public hearing or hearings held pursuant to this subsection or held pursuant to authority delegated by the state historical preservation officer under subsection (e) or (f) shall be held within 60 days from the date of receipt of notice by the state historical preservation officer from the state or any political subdivision of the state as provided herein. If the state historic preservation officer determines, with or without having been given notice of the proposed project, that such proposed project will encroach upon, damage or destroy any historic property included in the national register of historic places or the state register of historic places or the environs of such property, such project shall not proceed until:

(1) The governor, in the case of a project of the state or an instrumentality thereof, or the governing body of the political subdivision, in the case of a project of a political subdivision or an instrumentality thereof, has made a determination, based on a consideration of all relevant factors, that there is no feasible and prudent alternative to the proposal and that the program includes all possible planning to minimize harm to such historic property resulting from such use; and

(2) five days notice of such determination has been given, by certified mail, to the state historic preservation officer.

(b) Any person aggrieved by the determination of the governor pursuant to this section may seek review of such determination in accordance with the act for judicial review and civil enforcement of agency actions. Any person aggrieved by the determination of a governing body pursuant to this section may seek review of such determination in accordance with K.S.A. 60-2101 and amendments thereto.

(c) The failure of the state historic preservation officer to initiate an investigation of any proposed project within 30 days from the date of receipt of notice thereof shall constitute such officer's approval of such project.

(d) Failure of any person or entity to apply for and obtain the proper or required building or demolition permit before undertaking a project that will encroach upon, damage or destroy any historic property included in the national register of historic places or the state register of historic places, or the environs of such property, shall be subject to a civil penalty not to exceed \$25,000 for

each violation. The attorney general may seek such penalties and other relief through actions filed in district court.

**(e) (1) The state historic preservation officer may enter into an agreement authorizing a city or county to make recommendations or to perform any or all responsibilities of the state historic preservation officer under subsections (a), (b) and (c) if the state historic preservation officer determines that the city or county has enacted a comprehensive local historic preservation ordinance, established a local historic preservation board or commission and is actively engaged in a local historic preservation program. The agreement shall specify the authority delegated to the city or county by the state historic preservation officer, the manner in which the city or county shall report its decisions to the state historic preservation officer, the conditions under which the city or county can request assistance from the state historic preservation officer in performing certain project reviews, the length of time the agreement is to be valid and provisions for termination of the agreement. Such agreement shall provide that the state historic preservation officer shall retain final authority to implement the provisions of this act. The state historic preservation officer shall adopt any rules and regulations necessary to implement the provisions of this subsection.**

(2) An agreement with a city or county authorized by this subsection shall not be construed as limiting the authority of the state historic preservation officer to investigate, comment and make determinations otherwise permitted by this section.

(f) The state historic preservation officer may enter into agreements with the state board of regents or any state educational institution under the control and supervision of the state board of regents to perform any or all responsibilities of the state historic preservation officer under subsections (a), (b) and (c).

History: L. 1977, ch. 284, § 10; L. 1981, ch. 332, § 2; L. 1986, ch. 318, § 136; L. 1988, ch. 336, § 2; L. 1988, ch. 337, § 2; L. 1993, ch. 201, § 1; L. 1996, ch. 204, § 1; L. 1999, ch. 33, § 6; Apr. 1.

## Appendix C

### **Preservation-Related Funding (Tax Credit Program, Heritage Trust Fund Grant Program, Neighborhood Revitalization Program)**

# State and Federal Rehabilitation Tax Credits

Kansas Historical Society

[www.kshs.org](http://www.kshs.org)

<http://www.kshs.org/p/tax-credit-basics/14673/> - State Tax Credit Website

<http://www.nps.gov/history/hps/tps/tax/> - Federal Tax Credit Website

Kristen Johnston  
785-272-8681 ext. 213  
[kjohnston@kshs.org](mailto:kjohnston@kshs.org)

Matthew Holtkamp  
785-272-8681 ext. 256  
[mholtkamp@kshs.org](mailto:mholtkamp@kshs.org)

## Introduction

### What is a tax credit?

A tax credit is different from a tax deduction. A deduction is taken from your earned income and causes you to pay a lower amount of taxes. A credit is taken off of the income taxes you owe to the federal or state government. For example, you figure your taxes, taking all your normal deductions, and the bottom line says you owe \$3,000. If you had \$2,000 in tax credits you would only owe \$1,000 in taxes.

### Why should I be interested in federal and state rehabilitation tax credits?

- They provide incentives to improve and maintain historic buildings and districts.
- They provide the opportunity to save up to 45% on qualified rehabilitation expenses for qualified properties.
- They provide the opportunity to use historic preservation as an economic development tool. Historic preservation attracts tourism and can revitalize a community or neighborhood.
- Property owners can capitalize on “history” to enhance commerce, encourage re-development, and promote tourism while also utilizing the tax credits as part of an income tax reduction strategy.
- They provide an opportunity to use historic preservation as a business development tool for real estate and construction related professions.

### Who can benefit from the rehabilitation tax credits?

- Anyone who owns a building listed on the State or National Register of Historic Places or whose building is a “contributor” to a registered historic district and who is willing to follow the Secretary of the Interior’s *Standards for Rehabilitation* during any rehabilitation, renovation, or redevelopment project.
- The entire community will benefit from properly maintained buildings, increased tourism and commerce, and preservation of culture and history.

## Federal Rehabilitation Tax Credits

- The federal income tax credit is equal to 20% of qualified rehabilitation expenses associated with a certified rehabilitation on any certified historic structure.
  - A certified historic structure is:
    - Any building on the National Register of Historic Places
    - A “contributor” to a National Register listed district
    - A building that has been determined eligible for the National Register through Part 1 of the application and will be placed on the National Register within 30 months of project completion.
- Rehabilitations must be substantial. The IRS requires that the expense of the project must exceed the greater of \$5,000 or the adjusted basis of the building (purchase price, minus land value, minus depreciation, plus any improvements done since purchase).
- Buildings must be income-producing: retail, office space, rental, bed & breakfast, hotel, etc. Private residences do not qualify for the federal tax credit program.
- The credit can be carried forward for 20 years and back for 1 year.
- Owners taking the credit are required to maintain ownership of the building for five years to avoid recapture of the credit. The recapture amount is reduced by 20% each year the building continues in your ownership.
- All work must meet the Secretary of the Interior’s *Standards for Rehabilitation*. Plans and specifications are reviewed by the State Historic Preservation Office then are forwarded to the National Park Service for final approval. These reviews should take place before work begins to insure the plans will meet the *Standards*.
- Projects that are approved for the Federal tax credit may automatically receive the state tax credit as well.

## Kansas State Rehabilitation Tax Credits

- Buildings may be income producing or non-income producing. Private residences do qualify for the state tax credit.
- Buildings must be listed on the Kansas State or National Register of Historic Places, or be a “contributor” to a state or nationally listed historic district before you apply.
- All projects must be reviewed and approved before work begins. The state tax credit cannot be used retroactively.
- The state income tax credit is equal to 25% of qualified rehabilitation expenses
- Certified 501(c)3 organizations receive credits equal to 30% of their qualifying expenses as of January 1, 2007.
- Project expenses must exceed \$5,000.
- There is no cap on project expenses nor is there a limit to the number of times you may apply and take the state tax credit.
- The credit may be carried forward for 10 years
- The credits may now be transferred to other taxpayers at the property owner’s request (please contact the SHPO to find out how).
- Tax credits may be distributed among multiple owners based on ownership percentage or as the property owners agree.
- There is no recapture provision for the state tax credits.
- All work must meet the Secretary of the Interior’s *Standards for Rehabilitation*. The State Historic Preservation Office reviews plans and specifications.

## Eligible Rehabilitation Expenses

- Building components such as walls, partitions, floors, ceilings, doors, windows, stairs, chimneys, roofing, and fire escapes.
- Permanent coverings such as paneling, tile, and glued down carpeting.
- Building and mechanical systems such as electrical wiring, lighting fixtures, central air and heating, plumbing, fire suppression systems, escalators, and elevators.
- Engineering fees, architect fees, and reasonable developer fees.
- Construction management costs.

❖ Beginning January 1, 2007 taxpayers wishing to claim insurance proceeds used in a certified rehabilitation as qualifying expenses for purposes of the tax credits, must claim those insurance proceeds as income on their income tax returns. If a taxpayer does not report the insurance proceeds as income, any expenditures made to the qualified historic structure with the insurance proceeds will not be used to compute the state or federal historic rehabilitation tax credit.

## Tax Credit Application Process

- Part 1 – Qualified Historic Structure Certification
  - Required for the State Tax Credit only if the building is within a registered historic district. Application is reviewed by the State Historic Preservation Office (SHPO) to certify that the property is a contributing structure to a district
  - Required for the Federal Tax Credit if the building is within a historic district or is not yet listed on the National Register. The SHPO and the National Park Service (NPS) review applications to certify that the property is a contributing structure to a district or is eligible for listing on the National Register individually.
- Part 2 – Qualified Rehabilitation Certification
  - Applicant outlines the building's condition and all proposed work. This will include photographic documentation of areas to be rehabilitated and plans/drawings for proposed work.
  - The SHPO reviews all Part 2s and advises applicants on ways to meet the Secretary of the Interior's *Standards for Rehabilitation*. The SHPO may also provide technical assistance if needed.
  - Federal tax credit projects are then forwarded to the NPS for final approval.
  - State tax credit projects are approved at the SHPO. Work may not begin until the SHPO has approved this part of the application.
  - Both agencies require a processing fee to review applications.
- Part 3 – Rehabilitation Completion Certification
  - Once work is complete, the applicant submits this document with photos of the finished project to the SHPO for review to ensure all work meets the Secretary of the Interior's *Standards for Rehabilitation*
  - State tax credit projects are approved at the SHPO.
  - Federal tax credit projects must be forwarded to the NPS by the SHPO for final approval.
  - Applicants may then claim their tax credits.

**Please contact the Internal Revenue Service or the Kansas Department of Revenue with any questions related to taxation.**

**We strongly recommend that applicants consult a tax professional before applying for, claiming, or selling state or federal rehabilitation tax credits. Certain laws may limit your ability to claim the credits and other tax implications may apply.**

**IRS Contacts**

Colleen Gallagher  
IRS national coordinator for federal rehabilitation tax credit program  
651-726-1480  
[colleen.k.Gallagher@irs.gov](mailto:colleen.k.Gallagher@irs.gov)

**Kansas Dept. of Revenue contacts**

Kathleen Smith  
Office of Policy & Research  
Kansas Department of Revenue  
915 SW Harrison  
Topeka, KS 66612-1588  
785-296-3070  
[Kathleen\\_smith@kdor.state.ks.us](mailto:Kathleen_smith@kdor.state.ks.us)

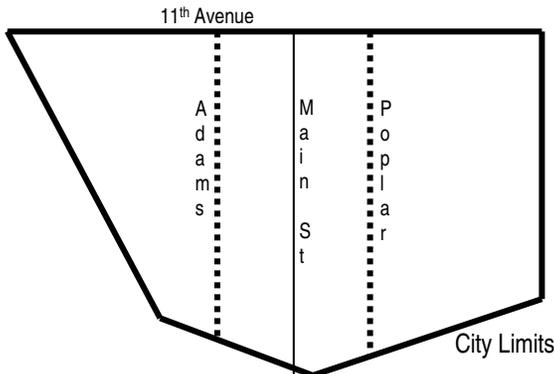
or

Audit Services  
Kansas Department of Revenue  
785-291-3288

# Process

- ✘ Complete Part I of the application and submit it to the Planning Department at City Hall. **This must be done within 60 days of receiving the building permit in order to be eligible.**
- ✘ Part II must be submitted to the County Appraiser's Office, Reno County Courthouse, by December 1 of the year the construction is complete. This indicates the project is complete.
- ✘ When the project is complete, the County Appraiser conducts a new appraisal and determines the new valuation. The reappraisal process is effective at the beginning of each year.
- ✘ If the project meets all of the criteria, the County Treasurer will be notified to begin rebate.
- ✘ Upon full payment of property taxes, the tax rebate will begin.

Revitalization Area ———  
 including Downtown Area .....



# The Rebate

The rebate is as follows for the Total Revitalization area and Downtown area:

	Total	Downtown	Historic
Year 1	95% Rebate	95% Rebate	100%
Year 2	85%	95%	100%
Year 3	75%	95%	100%
Year 4	65%	95%	100%
Year 5	55%	95%	100%
Year 6	50%	50%	100%
Year 7	50%	50%	100%
Year 8	50%	50%	100%
Year 9	50%	50%	100%
Year 10	50%	50%	100%

**Historically** designated properties receive a 100% rebate on the increase in property taxes due to the improvement.

### Estimated Avg. Ten Year Rebate for those qualifying

This example below does not include the Downtown area or a Historically designated property. Multiply by 1.16 for Downtown Area. Multiply Avg. Total Rebate by 1.60 or use the high figure in right-hand column for a Historic Property.

#### Residential

Cost of Improvement	Avg. 10-Year Total Rebate	Annual Estimate
\$ 5,000	\$ 509	\$ 41 - 77
\$ 20,000	\$ 2,037	\$ 163 - 309
\$ 50,000	\$ 5,093	\$ 407 - 774

#### Commercial Or Industrial

Cost of Improvement	Avg. Ten-Year Total Rebate	Annual Estimate
\$ 15,000	\$ 3,322	\$ 266 - 505
\$ 100,000	\$ 22,144	\$ 1,772 - 3,366
\$ 200,000	\$ 44,288	\$ 3,543 - \$6,732

### For More Information:

Planning Department  
 City Hall, 125 E. Avenue B  
 Hutchinson, Ks 67504-1567  
 620-694-2639

# The Neighborhood



## Revitalization Plan

**Building or remodeling might pay you back!**

Here's how...

Most properties **south of 11th Avenue** may be eligible for a Property Tax Rebate on the increase in taxes for new construction or property improvements!

Downtown Revitalization activities and historic properties receive an even higher rebate!!

City of Hutchinson, KS  
 June 2000  
 Brochure Revised Jan. 2008

# The Plan

This program is designed to give property owners in the NRP Area the chance to receive a 10 year tax rebate. This incremental rebate is applied to the additional property taxes that might be incurred as a result of constructing new buildings or making improvements to existing ones.

If you are building new construction or making an improvement on a RESIDENTIAL, COMMERCIAL, or INDUSTRIAL property in the NRP Area, your project may be eligible for this tax rebate!

In order for a project to be eligible:

- ✘ A building permit must be obtained from the City Planning and Development Department, 125 E. Avenue B.
- ✘ The building permit must have a minimum value of \$5,000 for residential property and \$15,000 for commercial or industrial property.
- ✘ Property must be zoned appropriately for the proposed use.
- ✘ The appraisal of the property the year construction is complete must increase by a minimum percentage.

For an application or a building permit please visit the City Planning Department at City Hall, 125 E. Ave B or call 694-2639.

# Common Questions & Answers

Q. How do I begin?

A. Buy your building permit and turn in Part I of the application to the Planning Department. **This must be done WITHIN 60 DAYS of receiving the building permit.**

Q. What type of property is eligible?

A. All types of residential properties are eligible except accessory structures such as swimming pools and gazebos. Garages ARE eligible if included with the principle structure in the building permit. All types of commercial and industrial properties are eligible except public utilities and railroads.

Q. What types of improvements qualify?

A. New construction and improvements such as: rehabilitation, alterations, and additions.

Q. What if my property is historically designated?

A. The tax rebate will be 100% of the property tax increase due to the improvement for each of the 10 years.

Q. What if my property is located in the Downtown area?

A. If the property is located South of 11<sup>th</sup> Avenue between the west side of Adams and the east side of Poplar, then it is eligible for a higher rebate. The property receives a 95% rebate for the first 5 years and a 50% rebate for the last 5 years.

Q. Can I apply for a rebate more than once?

A. An applicant is entitled to apply anytime there is building permit issued for a separate project that meets the minimum investment. You may apply only once for any one project.

Q. How is the amount of tax rebate determined?

A. After the project is determined eligible, property owners will receive a 95% rebate on the increase in their taxes the next time they pay taxes in full. The percentage rebate varies (see chart on back) and the rebate is calculated from the property tax increase due to the improvement.

Q. How does this rebate affect my current property taxes?

A. It does not affect your current property taxes. You are still required to pay all of the property taxes, but you will be rebated a percentage of the increase that is due to the improvement if the project meets all the requirements.

Q. How long does the rebate last? What if I sell my property?

A. The rebate will last 10 years, and the payment is made to the owner of record at the time of the rebate. The rebate stays with the property, so if you sell it, the remaining rebates go to the new owner.

Q. What criteria must the property improvements meet?

A. Criteria such as:

- ✘ Residential Property - Improvements must be valued at \$5,000 or more **and** the assessed value must increase by at least 5%.
- ✘ Commercial and Industrial Property- Improvements must be valued at \$15,000 or more **and** the assessed value must increase by at least 15%.
- ✘ Improvements must conform with City codes and building permit requirements. The property must remain in compliance with all City Codes for each of the 10 years of rebate.
- ✘ The property must remain current on property taxes and special assessments.
- ✘ The property must be zoned appropriately for the proposed use. For zoning questions, call the Planning Department at 694-2639.



## Heritage Trust Fund Grant Program

**Kansas Historical Society**  
State Historic Preservation Office  
6425 SW 6<sup>th</sup> Avenue, Topeka, KS 66615  
785-272-8681, ext. 240

<http://www.kshs.org/p/heritage-trust-fund/14617>

The Kansas Legislature created the Heritage Trust Fund grant program in 1990 to provide assistance for the preservation of historic properties in Kansas. Approximately \$1 million is awarded annually through a competitive application process.

### What properties are eligible for funding?

To be eligible for funding, a property must be listed on the Register of Historic Kansas Places and/or the National Register of Historic Places. If the property is within a National or State Register-listed historic district, the State Historic Preservation Office (SHPO) staff must identify the property as “contributing property” to that district for the property to be eligible.

### Who is eligible to apply?

The grant applicant must own the property. If the property has more than one owner, the applicant must provide proof of agreement of all parties included with the application. Property owners may not be the State or Federal governments.

### How much can an applicant receive for one project?

An applicant can receive between \$5,000 and \$90,000. For-profit corporations must provide a dollar-for-dollar (50/50) match and other grant recipients shall provide 20 percent of the cost of eligible project activities as match. In-kind services and indirect costs are not accepted as a matching share. Please note that the applicant’s cash match is eligible for rehabilitation tax credits – provided the match amount exceeds \$5,000.

### What work items are eligible for funding?

All work must comply with the Secretary of the Interior’s *Standards for Rehabilitation*. Eligible activities include professional services (architect and engineering fees), and projects involving the preservation, rehabilitation, or restoration of an historic property. Repairs involving building components such as walls, partitions, floors, ceilings, doors, windows, stairs, chimneys, roofing, and fire escapes are eligible activities. While eligible work can include building and mechanical systems such as electrical wiring, central air and heating, plumbing, and elevators, these items typically are not seen as “high priority” or “urgent”, and may not compete well with other proposed projects. Please contact the SHPO staff to learn about past projects and what work items are most competitive.

### What are the grant deadlines?

Applicants may submit a draft application and receive staff feedback. This draft application deadline is mid-September each year. **The final application is due November 1st each year.** Please contact the SHPO staff to verify deadlines.

### Grant Workshops

The SHPO staff offers several HTF grant-writing workshops each year in the summer. Staff discusses the application process, approaches to writing the application, and answers questions concerning the program. Contact the SHPO staff to learn dates, times, and locations of these meetings.

*Applications and detailed program information are available upon request.*

## Appendix D

### 2006 International Property Maintenance Code Inspection List



## City of Hutchinson

Inspection/Code Enforcement Department – 125 E. Ave B  
Hutchinson, KS 67501

Phone: (620) 694-2671 Fax: (620) 694-2691

### Inspection Checklist

**Address:** \_\_\_\_\_

**Apartment #'s:** \_\_\_\_\_

**Date:** \_\_\_\_\_ **Time:** \_\_\_\_\_

**Primary Contact:** \_\_\_\_\_

**Phone Number:** \_\_\_\_\_

**Building Type:**  Single Family  Duplex  Converted  Complex

Initial Inspection  Follow-Up Inspection

**Violation if Checked** ✓

#### EXTERIOR STRUCTURE

#### LIGHT, VENTILATION & OCCUPANCY

Address Posted & Visible (minimum 4" letters) 304.3	Lighting in common halls & stairs 402.2
Foundation Walls (plumb & no open breaks) 304.5 (30 days)	Water closet accessibility 404.4.3
Exterior Walls (paint, rotten materials, weatherproof) 304.6 (30 days)	Bathroom ventilation (fan to the outside or a window) 403.2
Roof & Drainage (no leaks & drainage directed properly) 304.7 (30 days)	Clothes dryer exhaust independently outside 403.5
Stairways, Decks & Porches (structurally sound & good repair) 304.10	Natural lighting (5 sq. ft.) or artificial light 402.1
Windows & Door Frames (condition & weather tight) 304.13	Minimum habitable room width 7' 404.2
Glazing (missing, cracks or holes) 304.13.1	Natural (2.25 sq. ft.) or artificial ventilation 403.1
Openable Windows (easily opened and stays in place) 304.13.2	Min. room sizes (70 sq. ft. BR 120 Sq. ft. LR) 404.4.1
Window Locks (with-in 6' of grade or walking surface) 304.18.2	Access not through bedrooms to habitable spaces 404.4.2
Insect Screens (April 1 – Dec 1) 304.14	Overcrowding (not more than 4 unrelated) 404.5
Door (Good Condition, lockable) 304.15	Locations prohibited for sleeping 404.4.4
Locking Device (no keyed interior) 304.18.1	Efficiency unit requirements if applicable 404.6
Structural Members (condition & support) 304.4 (30 days)	Kitchen clear passageway 3' minimum 404.2
Handrails & Guards (firmly fastened & good condition) 304.12	
Basement Hatchways (prevent entry of rodents & rainwater) 304.16	
Exterior Structure (maintained, structurally sound, sanitary) 304.1	
Protective Treatment (painting, siding) 304.2	

#### EXTERIOR PROPERTY

#### PLUMBING

Sanitation (clean, sanitary, proper receptacles) 307.1	Bathtub or shower, lavatory, water closet and kitchen sink present 502.1
Grading & Drainage (No standing water) 302.2	Hot and cold water present 505.1
Rodent Harborage 302.5	Water heater installed and vented correctly with approved T&P valve and drip leg 505.4
Swimming Pools (clean, sanitary & good repair) 303.1	All fixtures connected to an appropriate drain 506.1
Pool & Hot Tub Enclosures (>24" deep) 303.2	Plumbing fixtures free from leaks & obstructions 506.2
Rodent & Insect Infestation 302.5	No Cross connections (between water and contaminants) 505.2
Handrail/Guardrail (Interior & Exterior) (>4 risers & 30" high) 304.12	Storm Drainage adequate (not directed to neighboring properties) 507.1
Rubbish storage containers present 307.3.2	
Abandoned refrigerators or freezers 307.2.2	

**Note** – Code section numbers are based off the ICC – International Property Maintenance Code - 2006 Edition



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## Appendix E

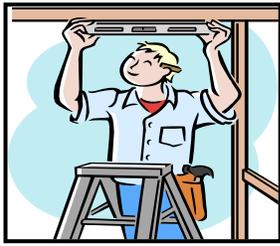
### Permit Process

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# **City of Hutchinson**

## **Building Inspection Department**

### **What Projects Require Building Permits?**



In general, all construction, alterations and repairs of building within the city limits require construction permits. The following are examples of projects requiring a permit.

- New residential dwelling or commercial building
- General remodeling & renovation, both residential & commercial
- Additions to buildings including decks & porches
- Garage or shed over 120- sq. ft. (10' x 12')
- Public sidewalk/driveway approach
- Any plumbing including water heater & water conditioning
- Installation or replacement of heating & air conditioning units
- Any electrical work
- Fencing-installation or replacement

To obtain a permit for new construction or an addition to an existing structure you are required to submit a drawing of existing buildings, proposed construction, lot lines & measurements from property lines.

### **Why Are Permits Required?**

Permits help guarantee the safety of your family and neighbors and help protect your investment. Inspections will ensure your construction project is built to code, will be safe, and will last.

### **When are Inspections Required?**

Inspections are required during your construction project to guarantee the work being done meets adopted codes. Listed below are required inspections, the building inspector may require additional inspections as work progresses or the difficulty of the project.

Stake out of property pins & setbacks

Footing & foundation

Framing inspection prior to covering any structural members

Electrical rough in of wiring, boxes & receptacles prior to covering

Replacement of water heater, plumbing/water lines & furnace/air conditioner

Final inspection after construction is completed, prior to occupying the structure

### **What are the adopted Building Codes?**

2003 International Building Code

2003 International Residential Code

2003 International Mechanical Code

2003 International Plumbing Code

2003 International Gas Fuel Code

2005 National Electric Code

### **Who needs to be Licensed/Registered to do Work in the City?**

The following contractors are required to be licensed with the City before performing work on your property:

- Electricians
- Plumbers
- Heating & Air Conditioner Installers (Mechanical)
- General Contractors and Tradesmen (required to be registered)

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## Appendix F

### Historic Review Process

## HISTORIC REVIEW PROCESS

In 2003, the City of Hutchinson adopted three National Register Historic Districts: Downtown Core North, Downtown Core South and the Houston Whiteside Districts. Building permits for buildings within the boundaries of these districts, or those within 500 feet of the district, are subject to Historic Review. There are also some individually listed properties throughout the City that are either on the Local, State and/or National Register of Historic Places. Individual properties are also subject to a Historic Review before a building permit can be issued. Properties within 500 feet of individual properties listed in the Local, State, and/or National Register are subject to an “Environs” Historic Review. There are two types of Historic Reviews: Minor Review and Major Reviews. Minor Reviews can be approved administratively by Planning Staff, while Major Reviews must be considered by the Hutchinson Landmarks Commission (a seven-member commission). For more information contact Savannah Benedick, Planner at (620) 694-2681 or [savanahb@hutchgov.com](mailto:savanahb@hutchgov.com) or visit our website at:

<http://www.hutchgov.com/department/division.asp?fDD=11-63>

“Minor Review” Project Types for Properties on Local, State and National Registers:

1. Reroofing (using like material)
2. Repairs using like material, and not changing the current look and size, on the following types of projects:
  - a. Porches
  - b. Fascia
  - c. Building details (i.e. cornices, porch railings, pediments, etc.)
  - d. Storage sheds and buildings
  - e. Window and door repair
3. Mechanical, plumbing, and electrical changes that require minor changes but follow the Secretary of Interiors Standards for Review.
4. Or similar projects.

“Minor Review” Project Types for Environs Review Cases (buildings within 500 feet of a State or Nationally Registered Property/District)

1. Demolition of outbuildings and minor structures
2. Minor exterior building changes and maintenance
  - a. Window and door changes
  - b. Walls, chimneys and porches
  - c. Roofing, siding and porches
3. Installation of Vinyl or Aluminum siding
4. Signs
5. Minor exterior building additions
  - a. Additions to primary structures
  - b. Additions to accessory structures
6. Installation of new decks
7. Building a new accessory structure
8. Installation of solar/wind energy equipment, aerials or antennas

**If the project does not fall under one of these categories, it is considered a “Major Review” and must be considered by the Landmarks Commission.**



# "Major Review" Application for Listed Property

Date Received: \_\_\_\_\_  
Case Number: \_\_\_\_\_

Application is hereby made for a permit to erect - remodel - add to the exterior of a designated historic structure at (Address) \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_ Addition \_\_\_\_\_

We the undersigned do hereby authorize the submittal of this application and associated documents and do hereby certify that all the information contained therein is true and correct. (Signature of property owner(s))

\_\_\_\_\_  
\_\_\_\_\_

### Type of Proposed Work

- \_\_\_ Major Exterior Alteration
- \_\_\_ New Development
- \_\_\_ Demolition
- \_\_\_ Sign Permit

### Submittal Requirements

- Final working drawings including:
- \_\_\_ Complete elevations (if necessary)
  - \_\_\_ Site or sketch plan
  - \_\_\_ Floor plan or building outline
  - \_\_\_ Description of existing materials
  - \_\_\_ Description of materials to be used
  - \_\_\_ Written statement of changes
  - \_\_\_ Photographs

- Local Landmark \_\_\_ Local District
- \_\_\_ State Register, Individual
- \_\_\_ National Register, Individual

### Historic Status

- \_\_\_ Environs Review for: \_\_\_\_\_
- \_\_\_ State Register District \_\_\_\_\_
- \_\_\_ National Register District \_\_\_\_\_

### Project Description

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Please answer the following questions which pertain to factors the Landmarks Commission will consider in reaching a decision on an application.

1. Does your project meet the purpose of the landmarks ordinance? \_\_\_\_\_  
\_\_\_\_\_
2. What is the historical and architectural importance of your building? \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



3. Will alterations and additions be compatible in scale, size, color and materials with your building and surrounding buildings and complement rather than copy?\_
4. Will additions be designed so that, if removed, the architectural integrity of the original would be unharmed?
5. Are exterior alterations and changes kept to a minimum?\_
6. Do the plans fit the structure's original design?\_
7. Do the plans relate favorably to the surroundings?\_
8. Are changes visible from the street sides of the building kept to a minimum?\_
9. Are original building materials maintained and/or exposed?\_
10. Are all materials appropriate to the building and to the neighborhood?\_
11. Are the original size and shape of window and door openings maintained?\_
12. Are original and distinctive architectural details kept?\_
13. Are there any economic factors that should be considered when evaluating this project?\_

If the space provided is not sufficient, the applicant may attach additional pages. The applicant also may submit any other pertinent information including photographs, drawings, maps, statistics, legal document, and letters of support.

### Certificate of Approval

Case Number: \_\_\_\_\_  
 Date Received: \_\_\_\_\_  
 Hearing Date: \_\_\_\_\_  
 Final Action: \_\_\_\_\_

LANDMARK COMMISSION/STAFF  
 Recommended Approval: \_\_\_\_\_  
 Recommended Disapproval: \_\_\_\_\_

CITY COUNCIL  
 Approved: \_\_\_\_\_  
 Disapproved: \_\_\_\_\_

\_\_\_\_\_  
 Chair/Preservation Planner Date

\_\_\_\_\_  
 Mayor Date

## “Minor Review” Application for Listed Properties

Date Received: \_\_\_\_\_

Case Number: \_\_\_\_\_

Address: \_\_\_\_\_

Property Owner: \_\_\_\_\_

**Type of Proposed Work**

- Minor Alterations
- Minor Repairs
- Demolition
- Sign Permit

- Local Landmark
- State Register, Individual
- National Register, Individual

**Submittal Requirements**

- Final working drawings including:
- Site or sketch plan (if necessary)
  - Description of existing materials
  - Description of materials to be used
  - Photographs (If demolition is part of the project)

**Historic Status**

- Local District
  - State Register District
  - National Register District
- \_\_\_\_\_ Environs Review for:

**Project Description**

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**Compatibility Factors to Consider**

	<b>Appropriate</b>	<b>Not Appropriate</b>
Adaptive Reuse/Use	_____	_____
Size Height/ Scale	_____	_____
Setback Proportion	_____	_____
Site Utilization	_____	_____
Building Form	_____	_____
Roof Type & Materials	_____	_____
Chimney & Vents	_____	_____
Surface Materials	_____	_____
Windows	_____	_____
Doors	_____	_____
Architectural Details	_____	_____
Outbuildings	_____	_____
Utilities	_____	_____
Economic Factors	_____	_____

**Certificate of Approval**

Recommended Approval: \_\_\_\_\_ Disapproved: \_\_\_\_\_

Staff \_\_\_\_\_ Date \_\_\_\_\_



# "Major Review" Application for Listed Property

Date Received: \_\_\_\_\_  
Case Number: \_\_\_\_\_

Application is hereby made for a permit to erect - remodel - add to the exterior of a designated historic structure at (Address) \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_ Addition \_\_\_\_\_

We the undersigned do hereby authorize the submittal of this application and associated documents and do hereby certify that all the information contained therein is true and correct. (Signature of property owner(s))

\_\_\_\_\_  
\_\_\_\_\_

### Type of Proposed Work

- \_\_\_ Major Exterior Alteration
- \_\_\_ New Development
- \_\_\_ Demolition
- \_\_\_ Sign Permit

### Submittal Requirements

- Final working drawings including:
- \_\_\_ Complete elevations (if necessary)
  - \_\_\_ Site or sketch plan
  - \_\_\_ Floor plan or building outline
  - \_\_\_ Description of existing materials
  - \_\_\_ Description of materials to be used
  - \_\_\_ Written statement of changes
  - \_\_\_ Photographs

- Local Landmark \_\_\_ Local District
- \_\_\_ State Register, Individual
- \_\_\_ National Register, Individual

### Historic Status

- \_\_\_ Environs Review for: \_\_\_\_\_
- \_\_\_ State Register District \_\_\_\_\_
- \_\_\_ National Register District \_\_\_\_\_

### Project Description

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Please answer the following questions which pertain to factors the Landmarks Commission will consider in reaching a decision on an application.

1. Does your project meet the purpose of the landmarks ordinance? \_\_\_\_\_  
\_\_\_\_\_
2. What is the historical and architectural importance of your building? \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



## “Minor Review” Application for Listed Properties

Date Received: \_\_\_\_\_

Case Number: \_\_\_\_\_

Address: \_\_\_\_\_

Property Owner: \_\_\_\_\_

**Type of Proposed Work**

- Minor Alterations
- Minor Repairs
- Demolition
- Sign Permit

- Local Landmark
- State Register, Individual
- National Register, Individual

**Submittal Requirements**

- Final working drawings including:
- Site or sketch plan (if necessary)
  - Description of existing materials
  - Description of materials to be used
  - Photographs (If demolition is part of the project)

**Historic Status**

- Local District
  - State Register District
  - National Register District
- \_\_\_\_\_ Environs Review for:

**Project Description**

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**Compatibility Factors to Consider**

	<b>Appropriate</b>	<b>Not Appropriate</b>
Adaptive Reuse/Use	_____	_____
Size Height/ Scale	_____	_____
Setback Proportion	_____	_____
Site Utilization	_____	_____
Building Form	_____	_____
Roof Type & Materials	_____	_____
Chimney & Vents	_____	_____
Surface Materials	_____	_____
Windows	_____	_____
Doors	_____	_____
Architectural Details	_____	_____
Outbuildings	_____	_____
Utilities	_____	_____
Economic Factors	_____	_____

**Certificate of Approval**

Recommended Approval: \_\_\_\_\_ Disapproved: \_\_\_\_\_

Staff \_\_\_\_\_ Date \_\_\_\_\_

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## Appendix G

### Source List

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**Source List for Historic Preservation Services and Resources**  
**City of Hutchinson and Surrounding Region**

ARCHITECTS

**Landmark Architecture**  
1020 N Main Street  
Hutchinson, Kansas 67501  
Phone: (620) 663-5421

**WDM Architects**  
105 N. Washington  
Wichita, KS 67202  
Phone: (316) 262-4700

**Fred Abercrombie, AIA**  
C.F. Abercrombie Architects, L.L.C.  
4243 Airport Terrace / P.O. Box 107  
Russell, KS 67665  
785-483-6383

**Mann & Company, P.A.**  
355 N. Washington, Ste 110  
P.O. Box 1006  
Hutchinson, KS 67501  
Phone: (620) 662-4493; Fax: (620)  
662-4496  
[www.mannandcompany.com](http://www.mannandcompany.com)

**Jones-Gillam Architects**  
Jeff Gillam  
730 N. 9<sup>th</sup> St.  
P.O. Box 2928  
Salina, KS 67402  
Phone: (785) 827-0386; Fax: (785)  
827-0392

BRICK PAVERS

**Kansas Brick and Tile**  
P.O. Box 450  
Hoisington, KS 67544  
Phone: 800-999-0480; (620) 653-2157  
Fax: (620) 653-7609  
[www.kansasbrick.com](http://www.kansasbrick.com)

ENGINEERS

**Dudley Williams & Associates, PA**  
Structural Engineers  
230 South Laura, Suite 200  
Wichita KS 67211  
(316) 263-7591

GENERAL CONTRACTORS

**Ward Davis Builders**  
2911 N. Plum  
Hutchinson, KS 67502  
Phone: (620) 664-6031

**A&A Builders**  
506 North Whiteside Street  
Hutchinson, KS 67501-1530  
(620) 663-1241

**Mel Borst**

1918 Humboldt St.  
Manhattan, KS 66502  
Phone: (785) 776-1460

**Schamber Historic Preservation**

Len Chamber  
P.O. Box 113  
Damar KS 67632  
Phone: (785) 839-4239

**Martin K. Eby Construction Co.,  
Inc.**

Lindsay Young  
Business Relations Representative  
610 N. Main Street, Suite 500  
Wichita, Kansas 67203  
316-268-3515 (direct)  
316-268-3649 (fax)  
316-841-8703 (mobile)  
[www.ebycorp.com](http://www.ebycorp.com)

**JT Construction & Remodeling, Inc.**

Jim Tombs  
Topeka KS 66605  
Phone: (785) 267-2979

MASONRY REPOINTING/REPAIR  
CONTRACTORS

**Mike Nevius**

1915 W 82<sup>nd</sup> Avenue  
Hutchinson, KS 67502  
620-662-7767

**Restoration & Waterproofing**

2222 S Hoover Rd.  
Wichita, KS 67209  
Phone: (316) 942-6602  
[www.restoration-waterproof.com](http://www.restoration-waterproof.com)

**Jantzen Building**

Jim Jantzen  
1005 N Ash  
Newton KS 67114  
Phone: (316) 238-1329  
Woodwork, carpentry, barns, etc.

**Paul-Wertenberger Construction**

1102 E 8<sup>th</sup> St.  
Hays KS 67601  
Phone: (785) 625-8220

**Gib Compton**

Compton Construction Corporation  
1802 N. Washington  
PO BOX 3097  
Wichita, KS 67201-3097  
316-262-8885  
316-262-0080 FAX  
[gcompton@comptonconstruction.com](mailto:gcompton@comptonconstruction.com)  
[www.comptonconstruction.com](http://www.comptonconstruction.com)

**Moeder and Associates**

Leon Moeder  
122 S. Hydraulic  
Wichita, KS 67211

**Robl Commercial Construction**

5842 W 21<sup>st</sup> St.  
Wichita KS 67205  
Phone: (316) 942-7625  
[www.roblconstruction.com](http://www.roblconstruction.com)

PAINT RESTORATION

**Geske Interiors**

Tim Geske  
110 N Cedar St.  
Abilene, KS 67410  
Phone: (785) 263-7984

PLASTER REPAIR

**Bob Florence Contractor, Inc.**

1934 Kansas Ave  
Topeka KS 66612  
Phone: (785) 357-0341  
[www.florencecontractor.com](http://www.florencecontractor.com)

**JT Construction & Remodeling, Inc.**

Jim Tombs (ask for his brother Ed)  
Topeka KS 66605  
Phone: (785) 267-2979

PRESERVATION CONSULTANTS

**Christy Davis**

909 ½ Kansas Avenue Ste 7  
Topeka, KS 66612  
Phone: (785) 213-1369  
[cdavis@davispreservation.com](mailto:cdavis@davispreservation.com)

**Doug McGovern**

100 W 20<sup>th</sup> Avenue  
Hutchinson, KS 67502  
Phone: (620) 662-2247  
[www.vintage-visuals.com](http://www.vintage-visuals.com)

ROOFING

**Flory Roofing**

Wes Flory  
1521 NW 36<sup>th</sup>  
P.O. Box 420  
Newton KS 67117  
Phone: (316) 284-2610

STEEL WINDOWS

**Deggenger's Foundry**

436 NW Crane St.  
Topeka KS 66603  
Phone: (785) 232-4788

**Schamber Historic Preservation**

Len Chamber  
PO Box 113  
215 S Oak St.  
Damar KS 67632  
Phone: (785) 839-4239  
Cell: (785) 737-3211

STORM WINDOWS

**Innerglass Window Systems**

15 Herman Drive  
Simsbury, CT 06070  
800-743-6207  
[www.stormwindows.com](http://www.stormwindows.com)

WINDOW CONTRACTORS

**Wayne Morgan & Eric Nichols**

Oakland Avenue Craftsmen, Inc.  
7513 E. Red Rock Rd.  
Haven, KS 67543  
(620) 694-0982  
[waynemorganII@yahoo.com](mailto:waynemorganII@yahoo.com)

**Architectural Specialties, Inc.**

1602 Jasper St.  
Kansas City MO 64116  
Phone: (816) 842-9330

**Metzker Restorations Inc.**

Robert Metzker  
203 N Topeka Avenue  
Ness City, KS 67560-1649  
(866) 798-7172  
[www.metzkerrestorations.com](http://www.metzkerrestorations.com)

**Randall Mohler Construction Services**

2328 County Rd 76  
Quinter KS 67752  
Phone: (785) 754-2375

**Renovation & Repair**

Mike Goans  
3109 Tomahawk  
Lawrence, KS 66049  
785-832-1454  
[mikegoans@sunflower.com](mailto:mikegoans@sunflower.com)

**Re-view**

1235 Saline Street  
Kansas City, MO 64116  
(816) 741-2876  
[www.re-view.biz](http://www.re-view.biz)

**Dan Rockhill**

RR 1  
Lecompton KS 66050  
Phone: (785) 887-6849

**Schamber Historic Preservation**

PO Box 113  
215 S Oak St.  
Damar KS 67632  
Phone: (785) 839-4239  
Cell: (785) 737-3211

WINDOW/DOOR MANUFACTURERS

**Peerless Products, Inc.**

2403 S. Main Street  
P.O. Box 431  
Fort Scott, KS 66701  
620-223-4610  
Fax: 620-224-3107  
<http://www.peerlessproducts.com>

**Raming Window Systems, Inc.**

Tony Grossi  
520 W 103<sup>rd</sup> Street #198  
Kansas City, MO 64114  
Phone: 913-233-6641  
[tgrossi@ramingwindows.com](mailto:tgrossi@ramingwindows.com)

**Reese, Braswell and Co.**

26 N 7<sup>th</sup> St.

Kansas City KS 66101

Phone: 800-726-2179

Email:

[reesebraswellandco@earthlink.net](mailto:reesebraswellandco@earthlink.net)

**TA Millwork**

6024 N. Broadway

Wichita, KS 67219

1-888-219-3440

316-744-3440

[Tracy@tamillwork.com](mailto:Tracy@tamillwork.com)

<http://www.tamillwork.com/index.htm>

**Traco**

Steve Seeling, CSI CDT

19926 West 99<sup>th</sup> Street

Lenexa, KS 66220-2630

913-232-6208

913-839-0465 fax

[steve.seeling@traco.com](mailto:steve.seeling@traco.com)

**JETALUM Windows & Doors**

141 East 19<sup>th</sup> Street

Kansas City, MO 64108

(phone)806-231-7011

(fax) 816-221-3399

WINDOW HARDWARE

**Blaine Window Hardware Inc.**

17319 Blaine Drive

Hagerstown, Maryland 21740

1-800-678-1919

1-301-797-6500

1-888-250-3960 fax

<http://www.blainewindow.com/>